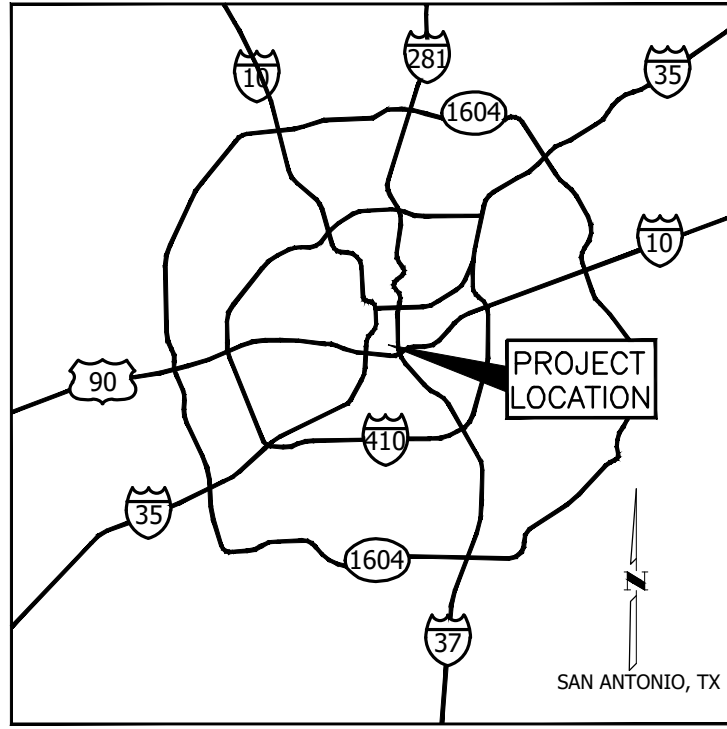


OWNER / DEVELOPER  
LIFSHTZ COMPANIES LP  
215 WEST TRAVIS STREET  
SAN ANTONIO, TEXAS 78205-1421

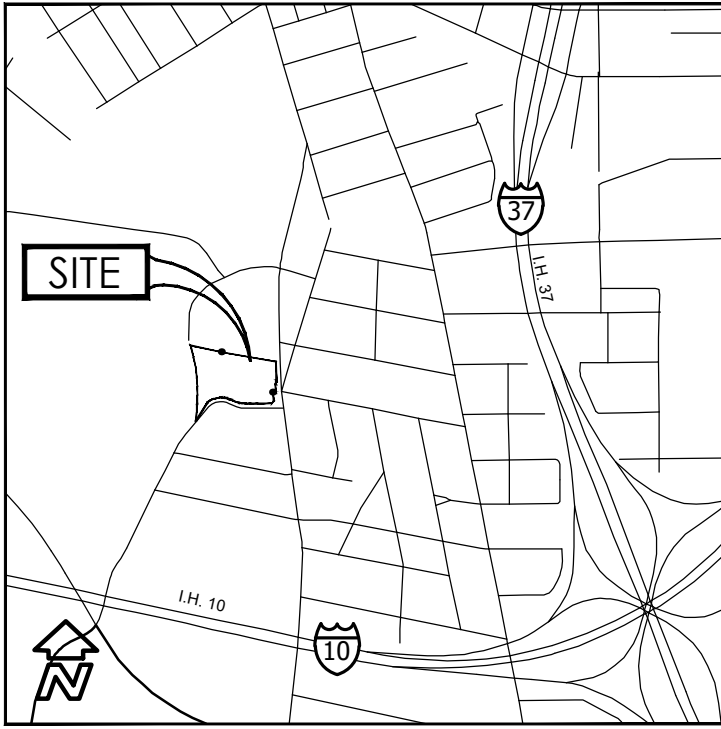
CIVIL ENGINEER:  
WGI  
755 E. MULBERRY AVE, SUITE 501  
SAN ANTONIO, TEXAS 78212  
(210) 860-9224  
CONTACT: TAYLOR J. ALLEN, P.E.

SURVEYOR:  
DA MAWYER LAND SURVEYING, INC.  
5151 W. SH-46  
NEW BRAUNFELS, TEXAS 78132  
(830) 730-4449  
CONTACT: DREW A. MAWYER, R.P.L.S.

CIVIL CONSTRUCTION DOCUMENTS  
FOR  
423 ROOSEVELT AVE.  
423 ROOSEVELT AVENUE  
SAN ANTONIO, BEXAR COUNTY, TEXAS 78102



VICINITY MAP  
N.T.S.



LOCATION MAP  
N.T.S.

SHEET LIST TABLE	
Sheet Number	Sheet Title
01	COVER SHEET
02	GENERAL NOTES
03	PLAT
04	EXISTING CONDITIONS
05	EROSION CONTROL PLAN
06	TREE PRESERVATION PLAN
07	DEMOLITION PLAN
08	GRADING AND DRAINAGE PLAN
09	RECLAMATION AREA PLAN AND DETAILS
10	RECLAMATION AREA CROSS SECTIONS
11	EROSION CONTROL DETAILS
12	CONSTRUCTION DETAILS
13	CONSTRUCTION DETAILS

**FLOODPLAIN INFORMATION:**  
THIS PROJECT IS LOCATED IN ZONES "AE" AND "X", AREAS AFFECTED BY A 100 YEAR FLOODPLAIN, AS SHOWN ON THE FEDERAL FLOOD INSURANCE ADMINISTRATION FLOOD HAZARD BOUNDARY MAP, PANEL NO. 48029C0415G, DATED SEPTEMBER 29, 2010.

THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

**WATERSHED:**  
THIS PROPERTY IS LOCATED WITHIN THE UPPER SAN ANTONIO RIVER WATERSHED.  
THIS PROJECT IS NOT LOCATED OVER THE EDWARDS AQUIFER RECHARGE ZONE.

**BENCHMARK:**  
TBM A: SET MAG NAIL  
N: 13692953.8333'  
E: 21319702.0364'  
ELEV: 620.44'  
TBM B: SET MAG NAIL  
N: 13693016.6805'  
E: 2131947.4543'  
ELEV: 615.37'

**SURVEY BASIS:**  
ALL BEARINGS ARE BASED THE TEXAS COORDINATE SYSTEM, GRID NORTH, SOUTH CENTRAL ZONE (4204), NAD83. ALL DISTANCES WERE ADJUSTED TO SURFACE USING A COMBINED SCALE FACTOR OF 1.000166408109.

**LEGAL DESCRIPTION:**  
BEING A TOTAL OF ±4.581 ACRES OF LAND, INCLUSIVE OF: THE REMAINING PORTION OF A 4.18 ACRE TRACT, A PORTION OF A ONE ACRE TRACT, ALL OF A 0.394 ACRE TRACT, AND A TOTAL OF 0.594 ACRES OF GROVE AVENUE AND MISSION ROAD ABANDONED BY ORDINANCE; ESTABLISHING ALL OF LOT 43, CITY BLOCK A-20, MARTIN LINEN SUBDIVISION, RECORDED IN VOLUME 9513, PAGE 2 OF BEXAR COUNTY DEED AND PLAT RECORDS.

**UTILITY PROVIDERS:**

GAS: CPS ENERGY  
145 NAVARRO  
SAN ANTONIO, TEXAS 78205  
(210) 353-2376  
WATER: SAN ANTONIO WATER SYSTEM (SAWS)  
2800 US HWY 281 NORTH P.O. BOX 2449  
SAN ANTONIO, TEXAS 78298  
(210) 704-7297  
ELECTRIC: CPS ENERGY  
145 NAVARRO  
SAN ANTONIO, TEXAS 78205  
(210) 353-2376  
WASTEWATER: SAN ANTONIO WATER SYSTEM (SAWS)  
2800 US HWY 281 NORTH P.O. BOX 2449  
SAN ANTONIO, TEXAS 78298  
(210) 704-7297

**LAND USE SUMMARY:**

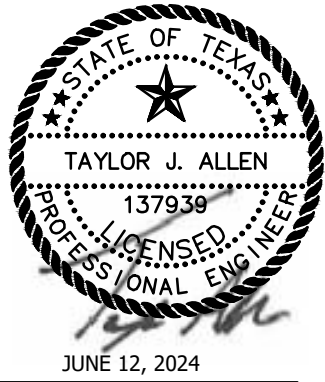
EXISTING SITE ZONING: C-3NA, C-2NA, H RIO-4, AND H RIO-4 MC-1  
DEVELOPMENT AREA: 4.51 ACRES

**NOTES:**

- RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION, AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY, AND ADEQUACY OF THEIR SUBMITTAL, WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY CITY ENGINEERS.
- BY THE ACT OF SUBMITTING A BID FOR THE PROPOSED CONTRACT, THE BIDDER WARRANTS THAT THE BIDDER AND ALL SUBCONTRACTORS AND MATERIAL SUPPLIERS THEY INTEND TO USE HAVE CAREFULLY AND THOROUGHLY REVIEWED THE DRAWINGS AND SPECIFICATIONS AND OTHER CONTRACT DOCUMENTS AND HAVE FOUND THEM COMPLETE AND FREE FROM ANY AMBIGUITIES AND SUFFICIENT FOR THE PURPOSE INTENDED. THE BIDDER FURTHER WARRANTS THAT TO THE BEST OF THEIR SUBCONTRACTORS AND MATERIAL SUPPLIERS KNOWLEDGE ALL MATERIALS AND PRODUCTS SPECIFIED OR INDICATED HEREIN ARE ACCEPTABLE FOR ALL APPLICABLE CODES AND AUTHORITIES.
- THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS HAS BEEN BASED UPON RECORD INFORMATION AND/OR A FIELD SURVEY, AND MAY NOT MATCH LOCATIONS AS CONSTRUCTED. THE CONTRACTOR SHALL CONTACT THE "ONE CALL" SYSTEM @ 811, OR THE OWNER OF EACH INDIVIDUAL UTILITY, FOR ASSISTANCE IN DETERMINING EXISTING UTILITY LOCATIONS PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF UTILITY CROSSING PRIOR TO BEGINNING CONSTRUCTION.
- ALL CONSTRUCTION OPERATIONS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH APPLICABLE REGULATIONS OF THE U.S. OCCUPATIONS SAFETY AND HEALTH ADMINISTRATION. (OSHA STANDARDS MAY BE PURCHASED FROM THE GOVERNMENT PRINTING OFFICE; INFORMATION AND RELATED REFERENCE MATERIALS MAY BE PURCHASED FROM OSHA, WASHINGTON SQUARE BLVD, SUITE 203, 800 DOLOROSA ST, SAN ANTONIO, TEXAS 78207-4559).
- CONTRACTOR SHALL RESTORE ALL SIGNS AND PAVEMENT MARKINGS TO EXISTING CONDITIONS FOLLOWING THE COMPLETION OF EACH PHASE OF CONSTRUCTION. CONTRACTORS SHALL REFER TO THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TMUTCD) FOR SIGN AND MARKING DIMENSIONS AND COLORS.

SUBMITTAL DATE:  
JUNE 12, 2024

SUBMITTED BY :



TAYLOR J. ALLEN LICENSED PROFESSIONAL ENGINEER NO. 137939  
WGI, INC.  
755 E. MULBERRY AVE, SUITE 501  
SAN ANTONIO, TEXAS 78212  
(210) 860-9224

I CERTIFY THAT THESE ENGINEERING DOCUMENTS ARE COMPLETE, ACCURATE AND ADEQUATE FOR THE INTENDED PURPOSES, INCLUDING CONSTRUCTION, BUT ARE NOT AUTHORIZED FOR CONSTRUCTION PRIOR TO FORMAL CITY APPROVAL.

423 ROOSEVELT AVE.  
423 ROOSEVELT AVENUE  
SAN ANTONIO, BEXAR COUNTY, TEXAS 78102

COVER SHEET

SHEET

C001

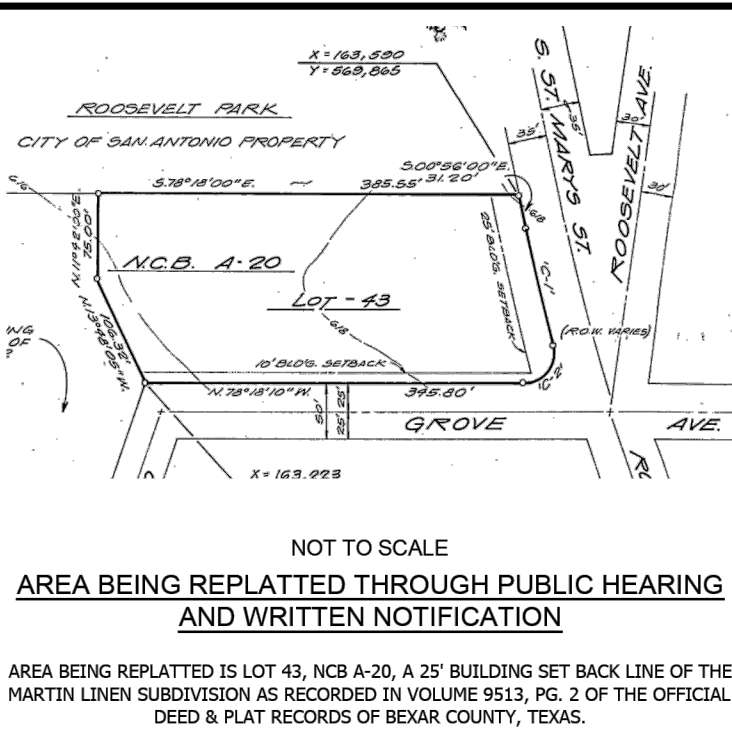
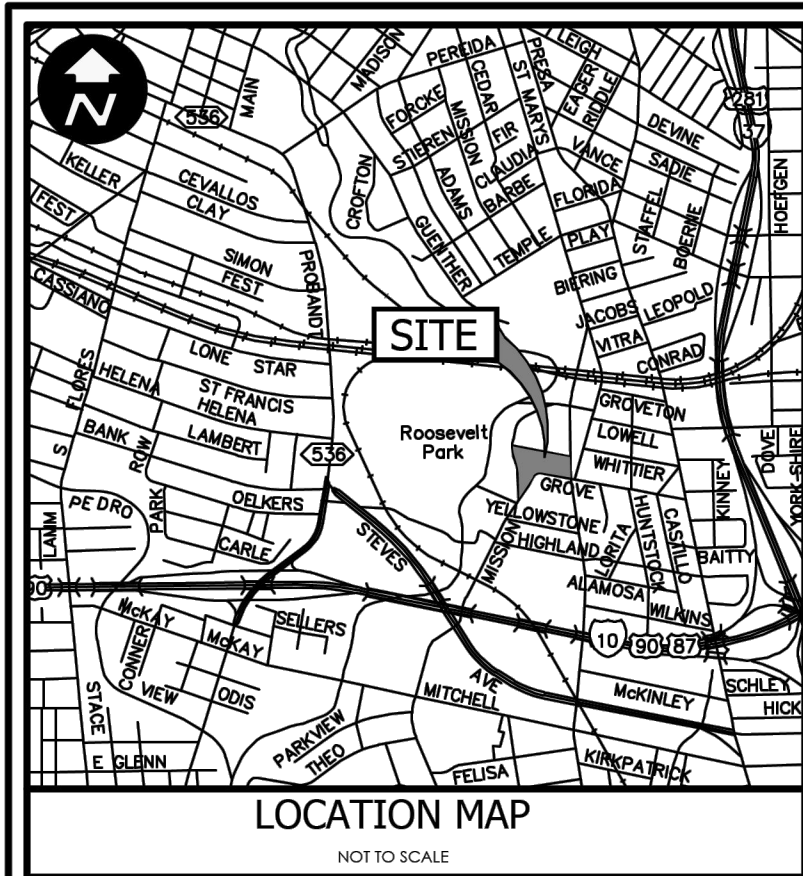
01 OF 13

23-11800255





SANIT: 01/2024 12:55 PM  
PLOT: 01/2024 12:55 PM  
DRAWN: 01/2024 12:55 PM  
DATE: 01/2024 12:55 PM



LEGEND	
	= PLATTED BOUNDARY
	= EXISTING BOUNDARY
	= CENTERLINE
	= EXISTING CONTOUR
	= DRAINAGE EASEMENT
	= WATER EASEMENT
	= (IPS) SET 1/2" IRON PIN W/ A PLASTIC CAP STAMPED "DAM #5348 PROP. COR." UNLESS OTHERWISE NOTED
	= (IPF) (IRF) FND 1/2" IRON PIN UNLESS OTHERWISE NOTED
	= E.G.T.C.E.
	= DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS
	= OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS
	= ACRE
	= RIGHT-OF-WAY
	= VOLUME
	= PAGE
	= BLOCK
	= NEW CITY BLOCK

STATE OF TEXAS  
COUNTY OF BEXAR

I, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS, AND DRAINAGE LAYOUT, TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE SAN ANTONIO PLANNING CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION.

WGL INC.  
TAYLOR J. ALLEN, P.E.

STATE OF TEXAS  
COUNTY OF COMAL

I, HEREBY CERTIFY THAT THIS PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY:

D.J. MAYNARD LAND SURVEYING, INC.  
DREW A. MAYNARD, R.P.L.S.

PRELIMINARY-FOR REVIEW ONLY  
THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE

REGISTERED PROFESSIONAL LAND SURVEYOR  
NO. 5348, STATE OF TEXAS

CPS/SAWS/COSA UTILITY NOTES:

1. THE CITY OF SAN ANTONIO AS A PART OF ITS ELECTRIC, GAS, WATER, AND WASTEWATER SYSTEMS - CITY PUBLIC SERVICE BOARD (CPS ENERGY) AND SAN ANTONIO WATER SYSTEM (SAWS) IS HEREBY DEDICATING THE EASEMENTS AND RIGHTS-OF-WAY FOR UTILITY, TRANSMISSION AND DISTRIBUTION INFRASTRUCTURE AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT," "ANCHOR EASEMENT," "SERVICE EASEMENT," "GAS EASEMENT," "OVERHANG EASEMENT," "UTILITY EASEMENT," "TRANSFORMER EASEMENT," "WATER EASEMENT," "SANITARY EASEMENT," AND/OR "RECYCLED WATER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND ERECTING UTILITY INFRASTRUCTURE AND SERVICE FACILITIES FOR THE REASONS DESCRIBED ABOVE. CPS ENERGY AND SAWS SHALL ALSO HAVE THE RIGHT TO RELOCATE SAID INFRASTRUCTURE AND SERVICE FACILITIES WITHIN EASEMENT AND RIGHT-OF-WAY AREAS, TOGETHER WITH THE PURPOSE OF ACCESSING SUCH INFRASTRUCTURE AND SERVICE FACILITIES AND THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF WATER, SEWER, GAS, AND/OR ELECTRIC INFRASTRUCTURE AND SERVICE FACILITIES, NO BUILDINGS, STRUCTURES, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN EASEMENT AREAS WITHOUT AN ENCROACHMENT AGREEMENT WITH THE RESPECTIVE UTILITY.
2. ANY CPS ENERGY OR SAWS MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS ENERGY OR SAWS INFRASTRUCTURE AND SERVICE FACILITIES, LOCATED WITHIN SAID EASEMENT, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATIONS.
3. THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE TV EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED HEREON.

HIGH PRESSURE NOTE:

A PORTION OF THE TRACT IS BELOW THE GROUND ELEVATION OF 643 FEET WHERE THE STATIC PRESSURE WILL NORMALLY EXCEED 80 PSI. AT ALL SUCH LOCATIONS, THE DEVELOPER OR BUILDER SHALL INSTALL AT EACH LOT, ON THE CUSTOMER'S SIDE OF THE METER, AN APPROVED TYPE PRESSURE REGULATOR IN CONFORMANCE WITH THE PLUMBING CODE OF THE CITY OF SAN ANTONIO.

WASTEWATER EDU NOTE:

THE NUMBER OF WASTEWATER EQUIVALENT DWELLING UNITS (EDU/S) PAID FOR THIS SUBDIVISION PLAT ARE KEPT ON FILE UNDER THE PLAT NUMBER AT THE SAN ANTONIO WATER SYSTEM.

IMPACT FEE PAYMENT NOTE:

WATER AND/OR WASTEWATER IMPACT FEES WERE NOT PAID AT TIME OF PLATTING FOR THIS PLAT. ALL IMPACT FEES MUST BE PAID PRIOR TO WATER METER SET AND/OR WASTEWATER SERVICE CONNECTION.

SURVEYOR'S NOTES:

1. PROPERTY CORNERS ARE MONUMENTED WITH IRON PINS WITH A PLASTIC CAP STAMPED "DAM #5348 PROP. COR." UNLESS OTHERWISE NOTED.
2. COORDINATES AND BEARINGS SHOWN HEREON ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, FOR THE SOUTH CENTRAL ZONE (4204), NORTH AMERICAN DATUM OF 1983.
3. DISTANCES SHOWN HEREON ARE SURFACE DISTANCES. COORDINATES SHOWN HEREON ARE GRID COORDINATES.

GENERAL NOTES:

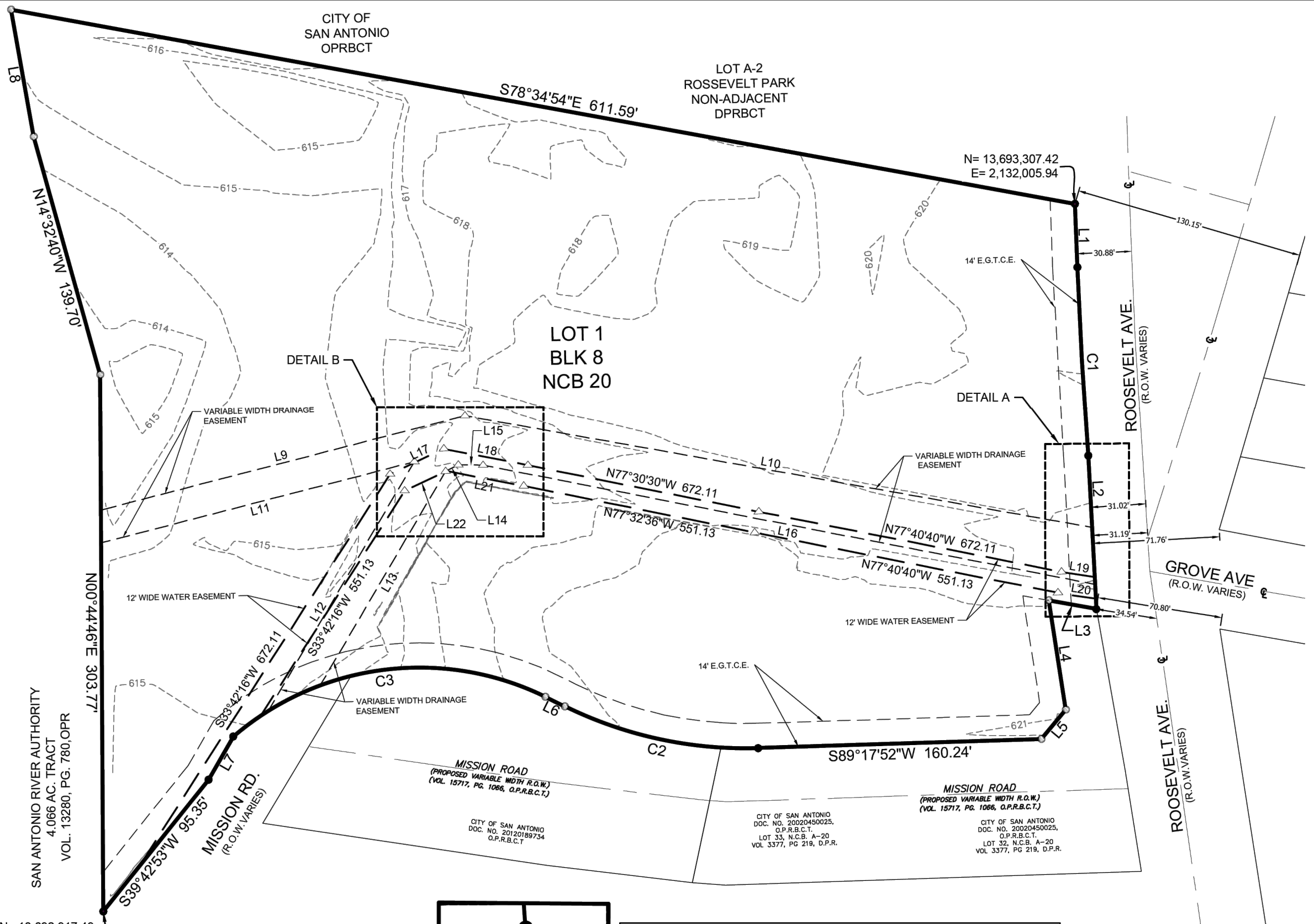
1. NO STRUCTURES, FENCES, WALLS OR OTHER OBSTRUCTIONS THAT IMPEDE DRAINAGE SHALL BE PLACED WITHIN THE LIMITS OF THE DRAINAGE EASEMENTS SHOWN ON THIS PLAT. NO LANDSCAPING OR OTHER TYPE OF MODIFICATIONS, WHICH ALTER THE CROSS-SECTIONS OF THE DRAINAGE EASEMENTS, AS APPROVED, SHALL BE ALLOWED WITHOUT THE APPROVAL OF THE DIRECTOR OF PUBLIC WORKS. THE CITY OF SAN ANTONIO AND BEXAR COUNTY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT PROPERTY TO REMOVE ANY IMPEDING OBSTRUCTIONS PLACED WITHIN THE LIMITS OF SAID DRAINAGE EASEMENTS AND TO MAKE ANY MODIFICATIONS OR IMPROVEMENTS WITHIN SAID DRAINAGE EASEMENTS.

FLOODPLAIN NOTE:

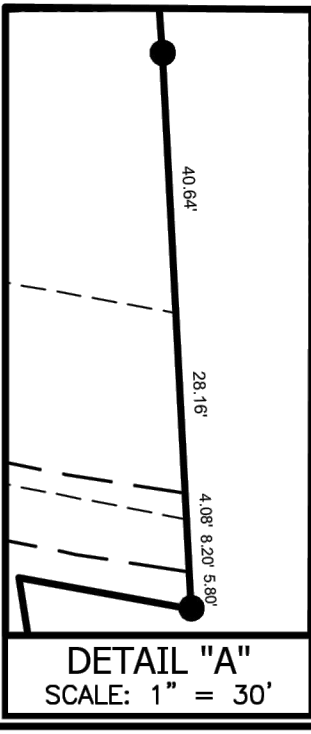
THE DRAINAGE EASEMENTS WERE DELINEATED TO CONTAIN THE LESSER OF THE BOUNDARIES OF THE 1% ANNUAL CHANCE (100-YEAR) FLOOD ZONE ESTABLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) IN ACCORDANCE WITH DIRM PANEL 4802904150 (DATED 09/20/10) OR THE 1% ANNUAL CHANCE (100-YEAR) ULTIMATE DEVELOPMENT CONDITION WATER SURFACE ELEVATION, OR THE 4% ANNUAL CHANCE (25-YEAR) ULTIMATE DEVELOPMENT FLOODPLAIN PLUS FREEDOM, CONSTRUCTION, IMPROVEMENTS, OR STRUCTURES WITHIN THE DRAINAGE EASEMENTS AND FLOODPLAIN ARE PROHIBITED WITHOUT PRIOR WRITTEN APPROVAL FROM THE FLOODPLAIN ADMINISTRATOR OF THE CITY OF SAN ANTONIO OR BEXAR COUNTY.

CLOMRs PENDING FEMA APPROVAL NOTE:

THE 1% ANNUAL CHANCE (100-YEAR) FLOODPLAIN LIMITS SHOWN ON THIS PLAT WERE DELINEATED BASED UPON A CONDITIONAL LETTER OF MAP REVISION (CLOMR) STUDY PREPARED BY WGL AND APPROVED BY FEMA ON 09/27/2022 (CASE NO. 22-06-0206). FLOODPLAIN INFORMATION IS SUBJECT TO CHANGE AS A RESULT OF FUTURE FEMA MAP REVISION AND/OR AMENDMENTS.



LINE TABLE			LINE TABLE		
LINE	LENGTH	BEARING	LINE	LENGTH	BEARING
L1	35.88'	S01°08'58.11"E	L12	163.15'	N31°29'34.07"E
L2	86.85'	S01°52'06.60"E	L13	140.23'	S31°29'34.07"W
L3	27.37'	N78°43'14.51"W	L14	8.10'	S63°57'16.81"W
L4	62.48'	S07°51'40.62"E	L15	14.03'	N88°01'20.18"W
L5	21.69'	S40°42'25.62"W	L16	352.46'	N77°53'47.79"W
L6	12.31'	N62°46'53.00"W	L17	33.58'	S65°52'08.81"W
L7	28.09'	S30°48'05.82"W	L18	48.42'	N77°53'26.14"W
L8	72.93'	N08°59'03.84"W	L19	18.87'	N79°57'56.56"W
L9	212.65'	N76°34'22.86"E	L20	17.89'	N80°12'44.02"W
L10	360.19'	S78°49'07.13"E	L21	44.46'	N77°53'26.14"W
L11	183.00'	S76°34'22.86"W	L22	26.19'	S65°52'08.81"W



CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	107.15'	2865.00'	2°08'34.02"	107.14'	S2°12'24.28"E
C2	112.98'	231.95'	27°54'29.06"	111.87'	N76°44'53.17"W
C3	188.32'	161.74'	66°42'40.88"	177.86'	S83°51'12.97"W

SHEET 1 OF 1

P:\9600\9675.00 421 Roosevelt\CIVL\05-Docs\20-Legal\Plat\Proposed\DWG\9675.00 - 421 Roosevelt Plat.dwg

PLAT NO. 23-11800255

REPLAT  
ESTABLISHING  
421 ROOSEVELT

BEING A TOTAL OF 44.561 ACRES OF LAND, INCLUSIVE OF: THE REMAINING PORTION OF A 4.18 ACRE TRACT, A PORTION OF A ONE ACRE TRACT, ALL OF A 0.394 ACRE TRACT, AND A TOTAL OF 0.594 ACRES OF GROVE AVENUE AND MISSION ROAD ABANDONED BY ORDINANCE, ESTABLISHING ALL OF LOT 1, CITY BLOCK 8, MARTIN LINEN SUBDIVISION, RECORDED IN VOLUME 9513, PAGE 2 OF BEXAR COUNTY DEED AND PLAT RECORDS.

210.860.9224 FIRM NO. 15085

**WGL**  
WGLinc.com

5710 W. WALSHMAN RD SUITE 115 SAN ANTONIO, TEXAS 78240

SCALE: 1"=60'

DATE OF PREPARATION:  
10/9/2023

STATE OF TEXAS  
COUNTY OF BEXAR

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

BY: LIFSHUTZ COMPANIES, L.P.  
JAMES LIFSHUTZ  
(210) 225-6742  
215 W TRAVIS  
SAN ANTONIO, TEXAS 78205

STATE OF TEXAS  
COUNTY OF BEXAR

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED JAMES LIFSHUTZ, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023

NOTARY PUBLIC, BEXAR COUNTY, TEXAS

THIS MINOR PLAT OF 421 ROOSEVELT HAS BEEN SUBMITTED TO THE CITY OF SAN ANTONIO, TEXAS, AND HAVING BEEN REVIEWED BY THE DIRECTOR OF DEVELOPMENT SERVICES IS HEREBY APPROVED BY IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS, AND/OR WHERE ADMINISTRATIVE EXCEPTION(S) HAVE BEEN GRANTED.

ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2023

DIRECTOR OF DEVELOPMENT SERVICES

421 ROOSEVELT AVE.  
423 ROOSEVELT AVENUE  
SAN ANTONIO, BEXAR COUNTY, TEXAS

PLAT





### LEGEND

- |  |  |
|--|--|
|  | BOUNDARY / RIGHT OF WAY                  |
|  | EASEMENT / SETBACK                       |
|  | CURB / EDGE OF PAVEMENT                  |
|  | EXISTING CONTOURS                        |
|  | APPROX. LOCATION OF<br>100 YR FLOODPLAIN |
|  | CENTER LINE                              |
|  | WATER LINE                               |
|  | STORM LINE                               |
|  | OVERHEAD ELECTRIC                        |
|  | UNDERGROUND ELECTRIC                     |
|  | UNDERGROUND TELECOMM.                    |
|  | GAS LINE                                 |
|  | CHAIN LINK FENCE                         |
|  | IRON FENCE                               |
|  | BENCHMARK                                |
|  | WATER VALVE                              |
|  | WASTEWATER MANHOLE                       |
|  | POWER POLE                               |
|  | GUY WIRE                                 |
|  | JUNCTION BOX                             |
|  | LIGHT POLE                               |
|  | FIRE HYDRANT                             |
|  | EXISTING TREE                            |

ZONING:  
C-3NA, C-2NA, H RIO-4, AND H RIO-4 MC-

**FLOODPLAIN:**  
THIS PROJECT IS LOCATED IN ZONES "AE" AND "X", AREAS AFFECTED BY A 100 YEAR FLOODPLAIN, AS SHOWN ON THE FEDERAL FLOOD INSURANCE ADMINISTRATION FLOOD HAZARD BOUNDARY MAP, PANEL NO. 48029C0415G, DATED SEPTEMBER 29, 2010.

**WATERSHED:**  
THIS PROJECT IS LOCATED IN THE UPPER SAN ANTONIO RIVER WATERSHED.  
THIS PROJECT IS NOT LOCATED OVER THE EDWARDS AQUIFER RECHARGE ZONE.

## BENCHMARKS

TBM A:	SET MAG NAIL	TBM B:	SET MAG NAIL
	N: 13692953.8333'		N: 13693016.68
	E: 21319702.0364'		E: 2131547.454
	ELEV: 620.44'		ELEV: 615.37'

**LEGAL DESCRIPTION:**  
BEING A TOTAL OF 4.561 ACRES OF LAND, INCLUSIVE OF: THE REMAINING PORTION OF A 4.18 ACRE TRACT, A PORTION OF A ONE ACRE TRACT, ALL OF A 0.394 ACRE TRACT, AND A TOTAL OF 0.594 ACRES OF GROVE AVENUE AND MISSION ROAD ABANDONED BY ORDINANCE; ESTABLISHING ALL OF LOT 43, CITY BLOCK A-20, MARTIN LINEN SUBDIVISION, RECORDED IN VOLUME 9513, PAGE 2 OF BEXAR COUNTY DEED AND PLAT RECORDS.

**NOTES:**

1. EXISTING CONDITIONS SURVEY PREPARED BY D.A. MAWYER LAND SURVEYING, INC. ON JUNE 2023 (PROJECT NO. BRD524).
2. ONLY VISIBLE IMPROVEMENTS & UTILITIES WERE PROVIDED FROM SURVEY (THE SURVEYOR/ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES). LOCATIONS OF EXISTING UTILITIES, SOME OF WHICH MAY NOT BE SHOWN, COULD IMPACT CONSTRUCTION MEANS AND METHODS. CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO BID CONSTRUCTION, AND SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. THE CONTRACTOR TO CONTACT THE OWNER OF EACH INDIVIDUAL UTILITY FOR ASSISTANCE IN DETERMINING EXISTING UTILITY LOCATIONS.

3. THE SIZE AND LOCATION OF UTILITY STRUCTURES, (IF SHOWN), MAY BE EXAGGERATED FOR GRAPHICAL CLARITY. THE SURVEY SHOWS FIELD MEASURED SIZES AND DEPTHS AS OBSERVED FROM GROUND LEVEL OPENINGS.
4. REFERENCE COVER SHEET FOR ADDITIONAL INFORMATION.

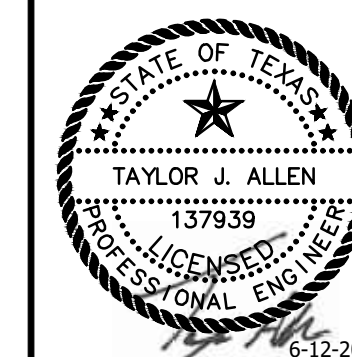
5. LIMITS OF CONSTRUCTION ARE SHOWN ON THE "EROSION & SEDIMENTATION CONTROL PLAN" SHEET.

**CAUTION:**  
CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.  
THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AVOIDING ALL EXISTING UTILITIES BY CALLING DIGGERS @ 1-800-DIG-TESS FOR LOCATION OF ALL UTILITIES, AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION.

[illegible]

FROM NO. 2 - 4 FOUR

010 060 0334



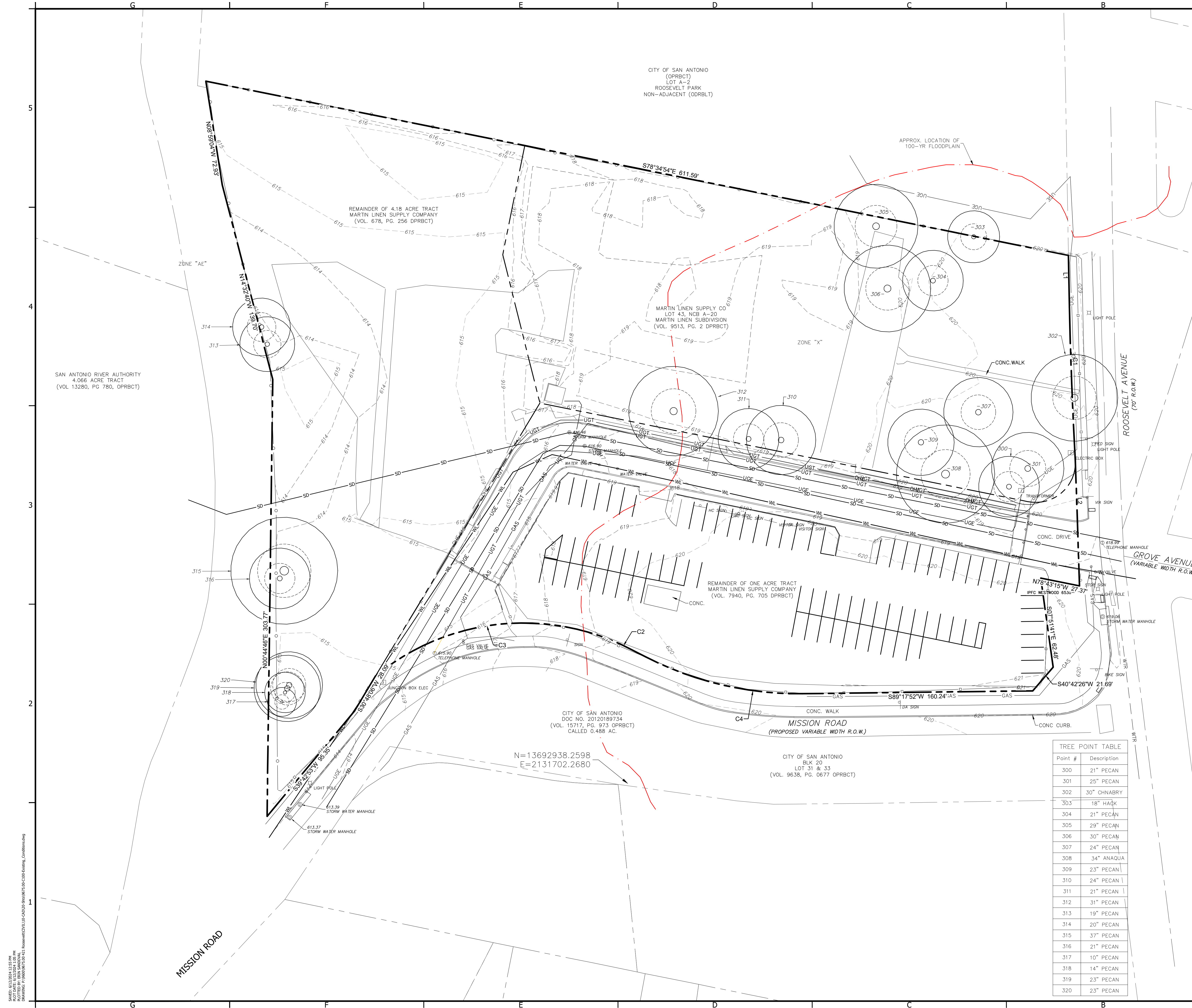
423 ROOSEVELT AVE.  
423 ROOSEVELT AVENUE  
SAN ANTONIO, BEXAR COUNTY, TEXAS 78102

## EXISTING CONDITIONS

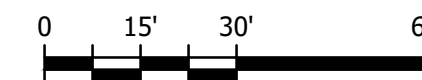
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04 OF 13  
23-11800255







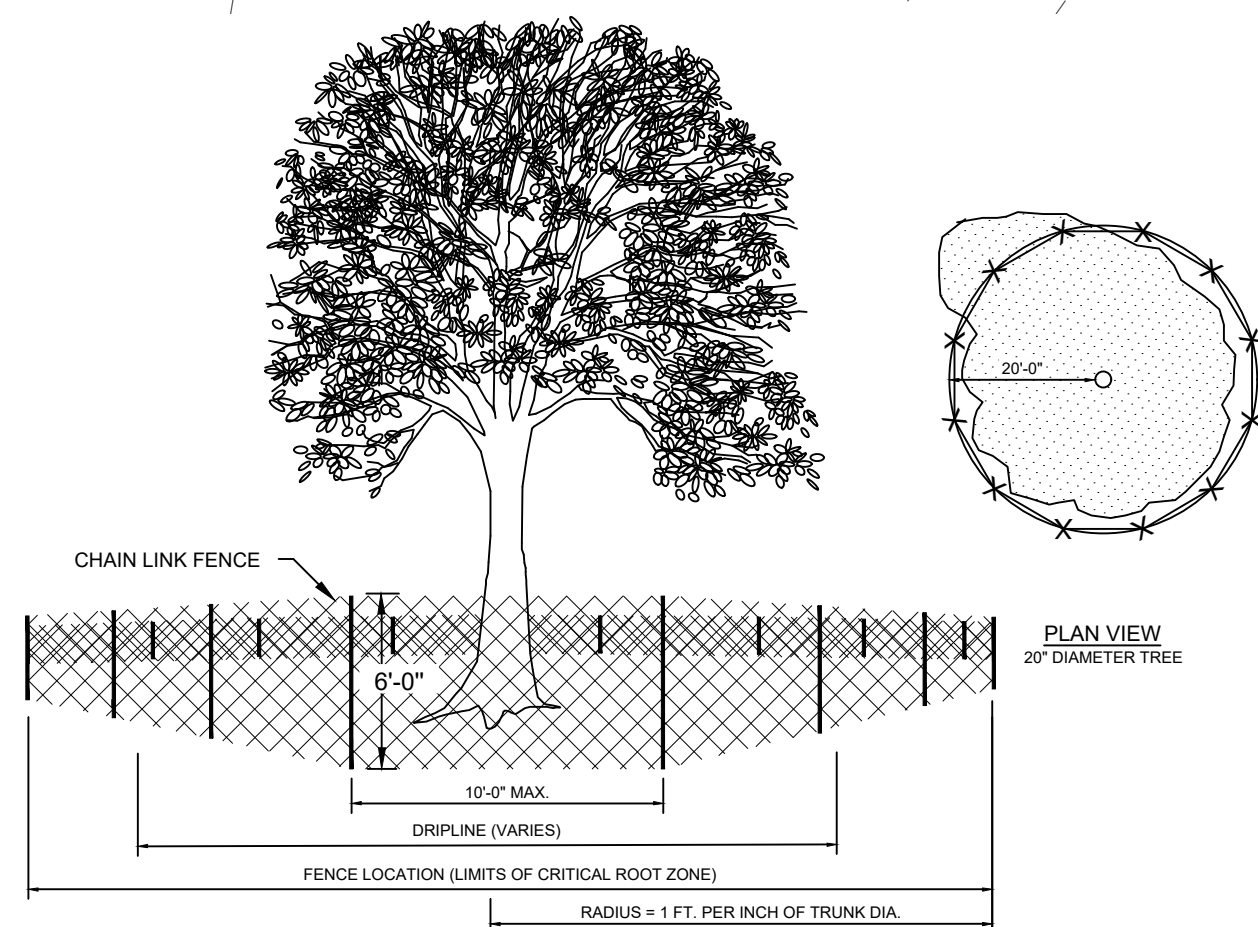
### LEGEND

- |  |  |
|--|--|
|  | BOUNDARY / RIGHT OF WAY  |
|  | EXIST. GRADE ELEVATIONS  |
|  | EXISTING PAVEMENT  |
|  | APPROX. LOCATION OF 100 YR FLOODPLAIN                          |
|  | PROPOSED 100 YR FLOODPLAIN                                     |
|  | LIMITS OF CONSTRUCTION / DISTURBANCE                           |
|  | TEMPORARY SILT FENCE   |
|  | TREE PROTECTION FENCING  |
|  | LIMITS OF TEMPORARY PARKING STORAGE, SPOILS, AND STAGING AREA. |
|  | STABILIZED CONSTRUCTION ENTRANCE                               |
|  | CONCRETE WASHOUT   |
|  | INLET FILTER   |
|  | GEOSOLUTIONS TURF REINFORCEMENT MAT                            |
|  | EXISTING TREE TO REMAIN  |
|  | EXISTING TREE TO BE REMOVED                                    |

## EROSION CONTROL KEY NOTES

- |   |                           |
|---|---------------------------|
| 1 | INLET PROTECTION          |
| 2 | TREE PROTECTION           |
| 3 | SILT FENCING              |
| 4 | CONCRETE WASHOUT PIT      |
| 5 | CONSTRUCTION ENTRANCE     |
| 6 | CONSTRUCTION STAGING AREA |

TREE POINT TABLE	
Point #	Description
300	21" PECAN
301	25" PECAN
302	30" CHNABRY
303	18" HACK
304	21" PECAN
305	29" PECAN
306	30" PECAN
307	24" PECAN
308	34" ANAQUA
309	23" PECAN
310	24" PECAN
311	21" PECAN
312	31" PECAN
313	19" PECAN
314	20" PECAN
315	37" PECAN
316	21" PECAN
317	10" PECAN
318	14" PECAN
319	23" PECAN
320	23" PECAN



## NOTES FOR TREE AND NATURAL AREA PROTECTION

- PROTECTIVE FENCE SHALL BE CHAIN LINK WITH POSTS.
- ALL TREES AND NATURAL AREAS SHOWN ON PLAN TO BE PRESERVED SHALL BE PROTECTED DURING CONSTRUCTION WITH TEMPORARY FENCING.
- PROTECTIVE FENCES SHALL BE ERRECTED ACCORDING TO STANDARDS FOR TREE PROTECTION.
- PROTECTIVE FENCES SHALL BE INSTALLED PRIOR TO THE START OF ANY SITE PREPARATION WORK (CLEARING, GRUBBING, EXCAVATION, OR SHALLOUING) THROUGHOUT ALL PHASES OF THE CONSTRUCTION PROJECT.
- EROSION AND SEDIMENTATION CONTROL BARRIERS SHALL BE INSTALLED OR MAINTAINED IN A MANNER WHICH DOES NOT RESULT IN SOIL BUILD-UP WITHIN TREE DRIP LINES.
- PROTECTIVE FENCES SHALL SURROUND THE TREES OR GROUP OF TREES, AND WILL BE LOCATED AT THE OUTERMOST LIMIT OF BRANCHES (DRIP LINE) FOR NATURAL AREAS. PROTECTIVE FENCES SHALL FOLLOW THE LIMIT OF CONSTRUCTION LINE, IN ORDER TO PREVENT THE FOLLOWING:
- (A) SOIL COMPACTION IN THE ROOT ZONE AREA RESULTING FROM VEHICULAR TRAFFIC OR STORAGE OF EQUIPMENT OR MATERIAL
  - (B) ROOT ZONE DISTURBANCES DUE TO GRADE CHANGES (GREATER THAN 6 INCHES CUT OR FILL), OR TRENCING
  - (C) ROOTS TO EXPOSED SOILS
  - (D) OTHER ACTIVITIES DETRIMENTAL TO TREES SUCH AS CHEMICAL STORAGE, CEMENT CURB RELINING, AND OTHERS
- EXCEPTIONS TO INSTALLING FENCES AT TREE DRIP LINES MAY BE PERMITTED IN THE FOLLOWING CASES:
- (A) WHERE THERE IS TO BE AN APPROVED GRADE CHANGE, IMPERMEABLE PAVING SURFACE, TREE WELL, OR OTHER SUCH SITE DEVELOPMENT, ERECT THE FENCE APPROXIMATELY 2 TO 4 FEET BEYOND THE AREA DISTURBED.
  - (B) WHERE PERMISSIBLE PAVING IS TO BE INSTALLED WITHIN A TREE'S DRIP LINE, ERECT THE FENCE AT THE OUTER LIMITS OF THE PERMISSIBLE PAVING AREA PRIOR TO SITE GRADING SO THAT THIS AREA IS GRADED SEPARATELY PRIOR TO PAVING INSTALLATION TO MINIMIZE ROOT DAMAGE.
  - (C) WHERE TREES ARE CLOSE TO PROPOSED BUILDINGS, ERECT THE FENCE TO ALLOW 6 TO 10 FEET OF WORK SPACE BETWEEN THE FENCE AND THE BUILDING.
  - (D) WHERE THERE ARE SEVERE SPACE CONSTRAINTS DUE TO TRAFFIC, OR OTHER SPECIAL REQUIREMENTS.
- SPECIAL NOTE: FOR THE PROTECTION OF NATURAL AREAS, NO EXCEPTIONS TO INSTALLING FENCES AT THE LIMIT OF CONSTRUCTION ARE ALLOWED.
- WHERE ANY OF THE ABOVE EXCEPTIONS RESULT, IN A FENCE BEING CLOSER THAN 4 FEET TO A TREE TRUNK, PROTECT THE TRUNK WITH STRAPPED OR PLANKING TO A HEIGHT OF 4 FT (TO THE LIMITS OF LOWER BRANCHING) IN ADDITION TO THE REDUCED FENCING PROVIDED.
- TREES APPROVED FOR REMOVAL SHALL BE REMOVED IN A MANNER WHICH DOES NOT IMPACT TREES TO BE PRESERVED.
- ANY ROOTS EXPOSED BY CONSTRUCTION ACTIVITY SHALL BE PRUNED WITHIN THE SOIL, BACKFILL ROOT AREAS WITH GOOD QUALITY TOP SOIL, AS MUCH AS POSSIBLE. IF EXPOSED ROOT AREAS ARE NOT BACKFILLED WITHIN 2 DAYS, THEY SHALL BE COVERED WITH MULCH, IN A MANNER WHICH REDUCES SOIL TEMPERATURE AND MINIMIZES WATER LOSS DUE TO EVAPORATION.
- ANY TRENCING REQUIRED FOR THE INSTALLATION OF LANDSCAPE IRRIGATION SHALL BE PLACED AS FAR FROM EXISTING TREE TRUNKS AS POSSIBLE.
- NO LANDSCAPE TOPSOIL DRESSING GREATER THAN 4 INCHES SHALL BE PERMITTED WITHIN THE DRIP LINE OF TREES. NO SOIL IS PERMITTED ON THE ROOT PLANE OF ANY TREE.
- PRUNING TO PROVIDE CLEARANCE FOR STRUCTURES, VEHICULAR TRAFFIC AND EQUIPMENT SHALL TAKE PLACE BEFORE DAMAGE OCCURS (BIPPING OF BRANCHES, ETC.).
- ALL PRUNING SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING: APPROVED STANDARDS OF THE INDUSTRY (REFERENCE THE NATIONAL ARBORIST ASSOCIATION PUBLISHED STANDARDS FOR SHADE TREES).
- DEVIATIONS FROM THE ABOVE NOTES MAY BE CONSIDERED ORDINANCE VIOLATIONS IF THERE IS SUBSTANTIAL NON COMPLIANCE OR IF A TREE SUSTAINS DAMAGE AS A RESULT.

**CAUTION:**  
CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.  
THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AVOIDING ALL EXISTING UTILITIES BY CALLING DIGTESS 1-800-DIG-TESS FOR LOCATION OF ALL UTILITIES, AT LEAST 2 WORKING DAY PRIOR TO BEGINNING CONSTRUCTION.



COM-PRJ-APP23-39802291

Tag #	Species	Understory Species* 5.0" - 11.5"		Significant Tree 6" - 23.5"		Significant Tree** 10.0" - 23.5"		Heritage 3:1		Heritage 1:1		Additional Inches Preserved for Mitigation ***	Existing Canopy Remaining
		Removed	Preserved	Removed	Preserved	Removed	Preserved	Removed	Preserved	Removed	Preserved		
312	31" PECAN (City Deemed Dead)												
313	PECAN					19							
314	PECAN					20							
315	PECAN							37					
316	PECAN					21							
317	PECAN						10						1200
318	PECAN						14						1200
319	PECAN						23						1200
320	PECAN						23						1200
Tot. Inches=		0	0	0	0	60	70	37	0	0	0	0	4800
Total inches by category=			0		0		130		37		0		
Preservation percentage=		#DIV/0!		Significant Pres.		54%		Heritage Pres.		0%		0	
Mitigation req (Commercial)		0		Commercial (inches)		-18		Heritage Mitigation (inches)		111			
Mitigation req (Residential)		0		Residential (inches)		-25							
No category to fall below 20% preservation;													
Preserved- Tree to remain that meets root protection zone requirements described in section 35-523 of the UDC.													
Mitigation 1:1 for significant trees below minimum preservation requirements; 3:1 for heritage trees below 100%													
* Small species: Condalia, Redbud, Tx. Mountain Laurel, Tx. Persimmon, Hawthorn, Possumhaw - these are mitigated at 1:1 for Heritage Trees													
** Ashe Juniper, Huisache, Mesquite, Arizona Ash, Hackberry protected at 10" dbh and mitigated at 1:1 for heritage trees													
*** Mitigation Trees: Unprotected-sized trees to be used for mitigation calculations; subtract inches from mitigation owed													



## 421 ROOSEVELT TREE INVENTORY ON-SITE (NON FLOODPLAIN)

COM-PRJ-APP23-39802291

[illegible]





### LEGEND

- |               |   |
|---------------|---|
| — — — — —     | BOUNDARY / RIGHT OF WAY                     |
| - - - - -     | EXISTING EASEMENT                           |
| =====         | CURB / GUTTER                               |
| — — — — — OHE | EXISTING OVERHEAD ELECTRIC                  |
| — — — — — UGE | EXISTING UNDERGROUND ELECTRIC               |
| — — — — — UGT | EXISTING COMMUNICATION LINE                 |
| — — — — — GAS | EXISTING GAS MAIN                           |
| — — — — — WTR | EXISTING WATER MAIN                         |
| — — — — — SD  | EXISTING WASTEWATER MAIN                    |
| — — — — —     | <b>APPROX. LOCATION OF<br/>FUTURE LOCAL</b> |



 DEMOLITION AREA:  
ALL ITEMS WITHIN THIS ARE  
TO BE REMOVED, REPLACE  
OR RELOCATED AS NOTED

## DEMOLITION KEY NOTES:

- |    |  |
|----|--|
| 1  | EXISTING CONCRETE SECTION TO BE REMOVED.   |
| 2  | EXISTING ASPHALT SECTION TO BE REMOVED.  |
| 3  | EXISTING SIGN TO BE REMOVED.   |
| 4  | EXISTING FENCE SECTION TO BE REMOVED.  |
| 5  | EXISTING GATE TO BE REMOVED.   |
| 6  | RECONSTRUCT STORM SEWER MANHOLE. REFER TO CITY OF SAN ANTONIO DRAINAGE CONSTRUCTION STRUCTURAL STANDARDS FOR JUNCTION BOXES. |
| 7  | REMOVE ELECTRIC MANHOLE.   |
| 8  | REMOVE BOLLARD.  |
| 9  | EXISTING ELECTRIC POLE TO BE REMOVED. CONTRACTOR TO COORDINATE WITH CPS ENERGY.  |
| 10 | RE-ADJUST WATER VALVE STEMS PER SAWS STANDARDS.  |
| 11 | CONTRACTOR TO REMOVE GAS METER AND GAS LINE AS PER CPS ENERGY STANDARDS AND SPECIFICATIONS.                                  |
| 12 | CONTRACTOR TO REMOVE EXISTING GUARD POSTS AND FDC PER SAWS CONSTRUCTION STANDARDS AND SPECIFICATIONS                         |
| 13 | EXISTING CONCRETE STRUCTURAL WALL TO BE REMOVED.   |
| 14 | CONTRACTOR TO REMOVE STORM WATER CURB INLET AS PER SAWS STANDARDS AND SPECIFICATIONS.  |
| 15 | ELECTRIC BOX TO BE REMOVED.  |

## NOTES

1. EROSION/SEDIMENTATION CONTROL AND TREE PROTECTION MUST BE INSTALLED PRIOR TO ANY DEMOLITION. REFERENCE EROSION & SEDIMENTATION CONTROL PLAN SHEET.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORD DRAWINGS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE "DIG TEST" UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND THE APPROPRIATE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST AN EXACT FIELD LOCATION OF UTILITIES. THE CONTRACTOR SHALL PROCEED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS PRIOR TO BEGINNING THE APPROPRIATE REMEDIAL ACTION AGREED UPON BY THE ENGINEER.
3. WHERE A STATE OR LOCAL MUNICIPAL STANDARD DETAIL DUPLICATES A DETAIL SHOWN IN THE PLANS, THE MORE STRINGENT DETAIL, AS DETERMINED BY THE REVENUE AGENCY, SHALL APPLY.
4. NO SITE DISTURBANCE SHALL OCCUR UNTIL THE PRECONSTRUCTION MEETING WITH THE ENVIRONMENTAL INSPECTOR IS HELD.
5. ALL DEMOLITION OF EXISTING CURBS AND SIDEWALKS MUST BE DONE BY HAND WHEN WORKING WITHIN THE 1/2 CRITICAL ROOT ZONE OF EXISTING TREES.
6. TREE PROTECTION FENCE MOVED DURING CONSTRUCTION MUST BE RE-INSTALLED AS SOON AS DEMOLITION WORK IS COMPLETED. ANY WORK BEING DONE WITHIN THE TREE PROTECTION FENCE AREA MUST NOT IMPACT TREES; NO ROOT DAMAGE AND NO BRANCH OR TRUNK DAMAGE. ADD A 12" LAYER OF MULCH WITHIN TREE PROTECTION FENCE AREA PRIOR TO CONDUCTING ANY WORK WITHIN FENCE AREA.
7. LIMITS OF CONSTRUCTION ARE SHOWN ON THE EROSION & SEDIMENTATION CONTROL PLAN.

**CAUTION**

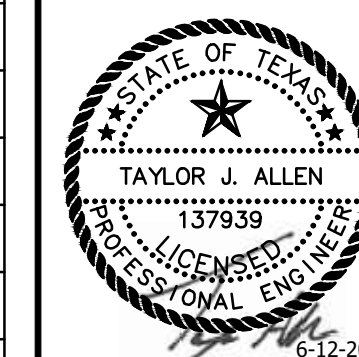
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1-800-DIG-TESS FOR LOCATION OF ALL UTILITIES, AT LEAST 2 WORKING DAYS  
PRIOR TO BEGINNING CONSTRUCTION.

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FORM NO. F-100F



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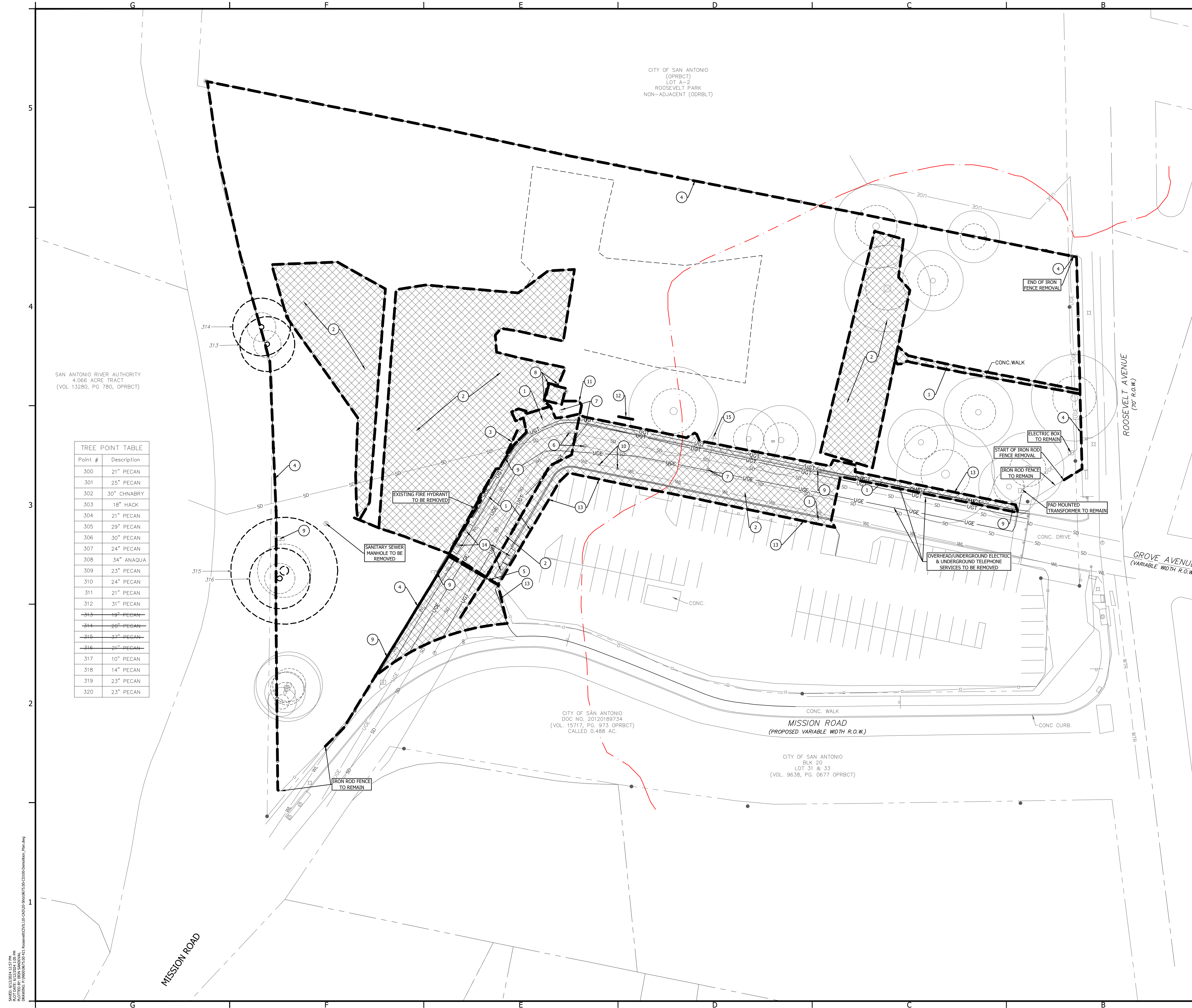
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423 ROOSEVELT AVENUE  
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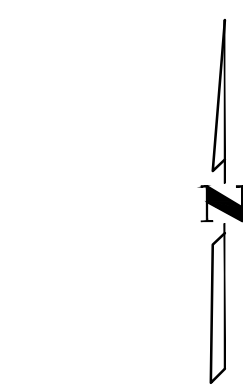








Know what's below.  
Call before you dig.



LEGEND

- BOUNDARY / RIGHT OF WAY
- EXIST. GRADE ELEVATIONS
- EXISTING PAVEMENT
- APPROX. LOCATION OF 100 YR FLOODPLAIN
- PROPOSED 100 YR FLOODPLAIN
- LIMITS OF CONSTRUCTION / DISTURBANCE
- TEMPORARY SILT FENCE
- TREE PROTECTION FENCING
- LIMITS OF TEMPORARY PARKING, STORAGE, SPOILS, AND STAGING AREA
- STABILIZED CONSTRUCTION ENTRANCE
- CONCRETE WASHOUT
- INLET FILTER
- GEOSOLUTIONS TURF REINFORCEMENT MAT

EROSION CONTROL KEY NOTES

- INLET PROTECTION
- TREE PROTECTION
- SILT FENCING
- CONCRETE WASHOUT PIT
- CONSTRUCTION ENTRANCE
- CONSTRUCTION STAGING AREA

NOTES:

- EROSION/SEDIMENTATION CONTROL AND TREE PROTECTION MUST BE INSTALLED PRIOR TO ANY DEMOLITION. REFERENCE EROSION & SEDIMENTATION CONTROL PLAN SHEET.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIG TEST" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN PER THE APPROPRIATE REMEDIAL ACTION AGREED UPON BY THE ENGINEER.
- IF DISTURBED AREA IS NOT TO BE WORKED FOR MORE THAN 14 DAYS DISTURBED AREA NEEDS TO BE STABILIZED BY REVEGETATION, MULCH, TARP, OR REVEGETATION MATTING.
- PROPOSED GRADES TO NOT EXCEED 15% CHANGE IN ELEVATION.
- WHERE A STATE OR LOCAL MUNICIPAL STANDARD DETAIL DUPLICATES A DETAIL SHOWN IN THE PLANS, THE MORE STRINGENT DETAIL, AS DETERMINED BY THE REVIEWING AGENCY, SHALL APPLY.
- NO SITE DISTURBANCE SHALL OCCUR UNTIL THE PRE-CONSTRUCTION MEETING WITH THE ENVIRONMENTAL INSPECTOR IS HELD.
- ALL DEMOLITION OF EXISTING CURBING AND SIDEWALKS MUST BE DONE BY HAND WHEN WORKING WITHIN THE 1/2 CRITICAL ROOT ZONE OF EXISTING TREES.
- PURSUANT TO 14-11-131 OF THE CITY CODE, THE CONTRACTOR MAY NOT BLOCK, DIRECT, IMPEDE, OR REROUTE PEDESTRIAN AND VEHICULAR TRAFFIC, NOR PLACE A BARRICADE OR OTHER TRAFFIC CONTROL DEVICE IN A RIGHT-OF-WAY, WITHOUT FIRST OBTAINING A TEMPORARY USE OF RIGHT-OF-WAY PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS THAT ARE REQUIRED TO COMPLY WITH SECTIONS 15-12-161 THROUGH 15-12-181 OF THE CITY CODE REGARDING EXCAVATION IN PUBLIC RIGHT-OF-WAY.
- DUST CONTROL TO BE PROVIDED BY CONTRACTOR IN ACCORDANCE WITH THE CITY OF AUSTIN'S ENVIRONMENTAL CRITERIA MANUAL SECTION 1.4.5.D.
- CONTRACTOR SHALL CLEAN UP SPOILS THAT MIGRATE INTO EXISTING RIGHT-OF-WAY A MINIMUM OF ONCE PER DAY.
- CONTRACTOR SHALL INSTALL TEMPORARY CHAIN LINK FENCE FOR PEDESTRIAN SAFETY WHERE LIMITS OF CONSTRUCTION ARE SHOWN.
- ALL STORM WATER LEAVING THE SITE DURING CONSTRUCTION ACTIVITIES MUST PASS THROUGH THE SILT FENCE OR ROCK BERMS.
- SILT FENCE TYPE AND INSTALLATION SHALL COMPLY WITH ECM 1.4.2(G).
- TREE PROTECTION FENCE MOVED DURING CONSTRUCTION MUST BE RE-INSTATED AS SOON AS DEMOLITION WORK IS COMPLETED. ANY WORK BEING DONE WITHIN THE TREE PROTECTION FENCE AREA MUST NOT IMPACT TREES; NO ROOT DAMAGE AND NO BRANCH OR TRUNK DAMAGE. ADD A 12" LAYER OF MULCH WITHIN THE TREE PROTECTION FENCE AREA PRIOR TO CONDUCTING ANY WORK INSIDE FENCE AREA.
- REFERENCE "TREE LIST" ON EXISTING CONDITION & DEMOLITION PLAN SHEETS FOR TREE INFORMATION.

CAUTION:

CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AVOIDING ALL EXISTING UTILITIES BY CALLING DIGTESS @ 1-800-DIG-TESS FOR LOCATION OF ALL UTILITIES, AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION.

EROSION CONTROL QUANTITIES

LIMITS OF CONSTRUCTION	±4.51 ACRES
TOTAL LENGTH OF SILT FENCE	1,476 LF
STABILIZED CONSTRUCTION ENTRANCE	1 EACH
TOTAL LENGTH OF TREE PROTECTION	1,207 LF
INLET PROTECTION	2 EACH

TREE POINT TABLE

Point #	Description
300	21" PECAN
301	25" PECAN
302	30" CHINABRY
303	18" HACK
304	21" PECAN
305	29" PECAN
306	30" PECAN
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310	24" PECAN
311	21" PECAN
312	31" PECAN
313	19" PECAN
314	20" PECAN
315	37" PECAN
316	21" PECAN
317	10" PECAN
318	14" PECAN
319	23" PECAN
320	23" PECAN

CITY OF SAN ANTONIO  
(OPRBCT)  
LOT A-2  
ROOSEVELT PARK  
NON-ADJACENT (ODRBLT)

SAN ANTONIO RIVER AUTHORITY  
4.066 ACRE TRACT  
(VOL. 13280, PG. 780, OPRBCT)

CITY OF SAN ANTONIO  
DOC NO. 20120189734  
(VOL. 15717, PG. 973 OPRBCT)  
CALLED 0.488 AC.

CITY OF SAN ANTONIO  
BLK. 20  
LOT 31 & 33  
(VOL. 9638, PG. 0677 OPRBCT)

MISSION ROAD  
(PROPOSED VARIABLE WIDTH R.O.W.)

GROVE AVENUE  
(VARIABLE WIDTH R.O.W.)

ROOSEVELT AVENUE  
(70' R.O.W.)

423 ROOSEVELT AVE.

423 ROOSEVELT AVENUE

SAN ANTONIO, BEXAR COUNTY, TEXAS 78102

EROSION CONTROL PLAN

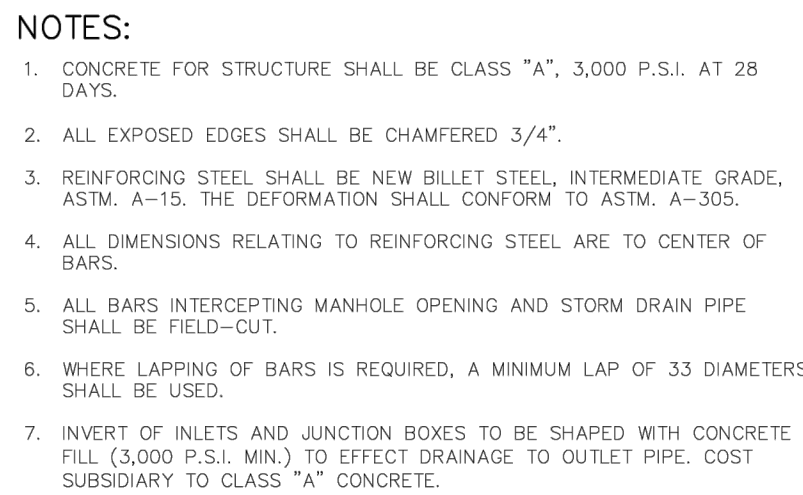
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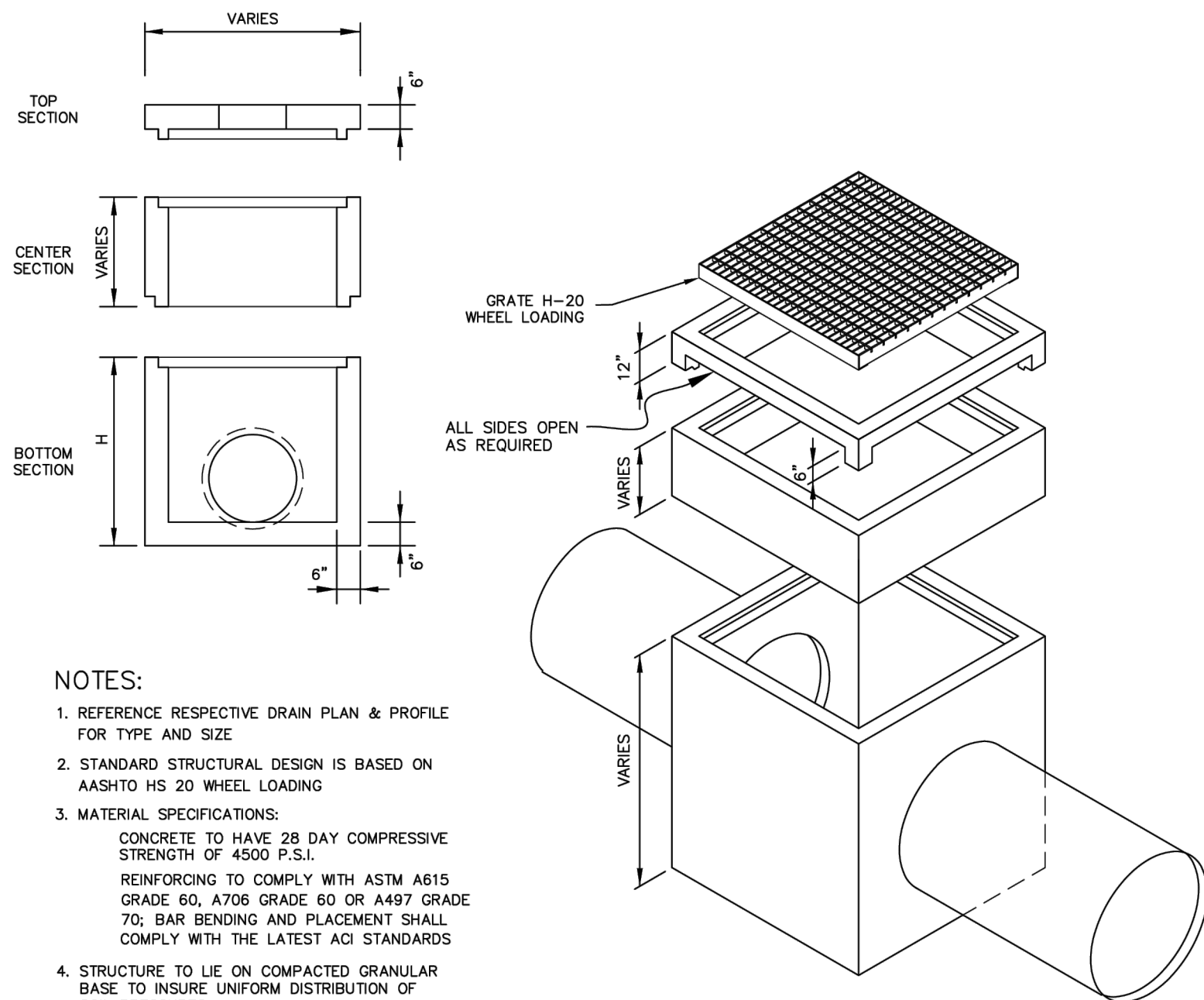
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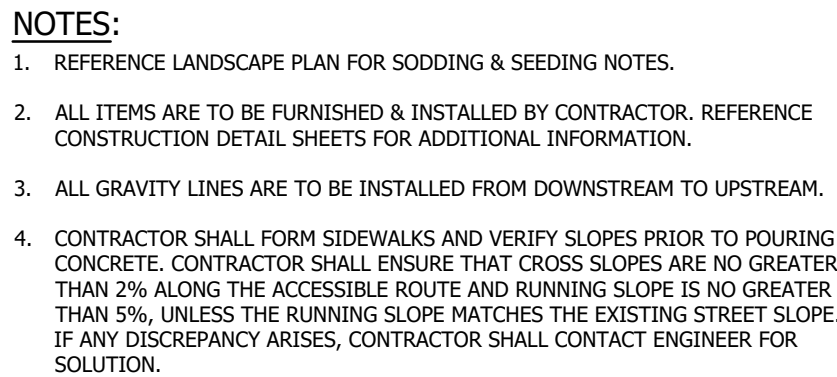
NOT TO SCALE



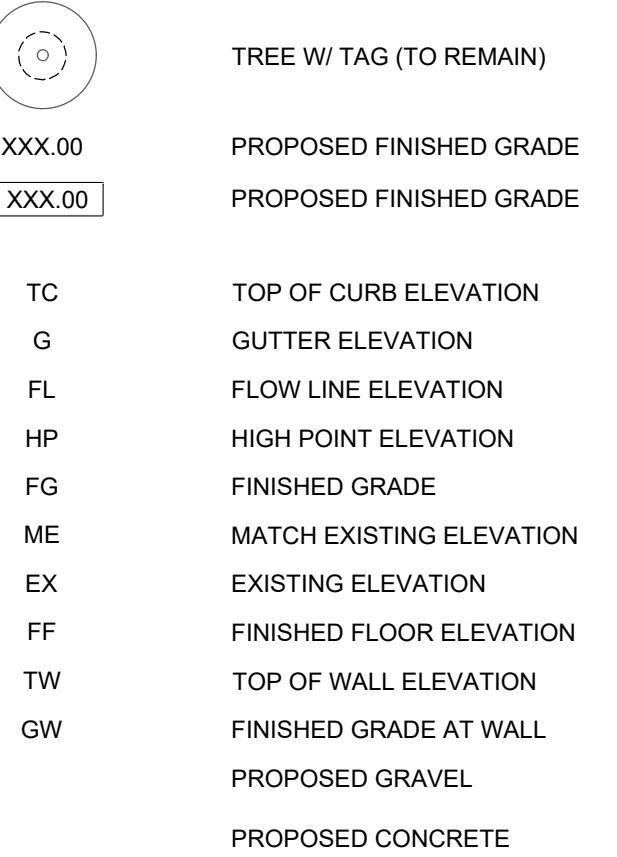
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**NOTES:**

1. REFERENCE RESPECTIVE DRAW PLAN & PROFILE FOR TYPE AND SIZE
2. STANDARD STRUCTURAL DESIGN IS BASED ON AASHTO HS 20 WHEEL LOADING
3. MATERIAL SPECIFICATIONS:
  - CONCRETE TO HAVE 28 DAY COMPRESSIVE STRENGTH OF 4500 P.S.I.
  - REINFORCING TO COMPLY WITH ASTM A615 GRADE 60, A708 GRADE 60 OR A497 GRADE 60.
  - ALL ENDING AND PLACEMENT SHALL COMPLY WITH THE LATEST AC STANDARDS
4. STRUCTURE TO LIE ON COMPACTED GRANULAR BASE TO INSURE UNIFORM DISTRIBUTION OF SOIL PRESSURE
5. SHAFT INVERT WITH 2500 P.S.I. CONCRETE FILL AS REQUIRED (NO EXTRA PAY ITEM)
6. COORDINATE PIPE OPENINGS WITH MANUFACTURER
7. PRECAST BOXES BY OLDCASTLE OR APPROVED EQUAL



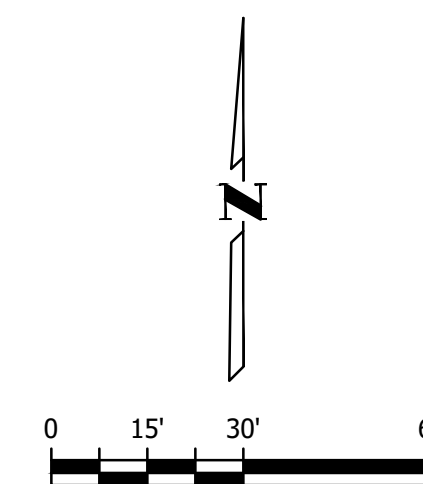
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423 ROOSEVELT AVE.  
423 ROOSEVELT AVENUE  
SAN ANTONIO, BEXAR COUNTY, TEXAS 78102  
RECLAMATION AREA PLAN AND DETAILS

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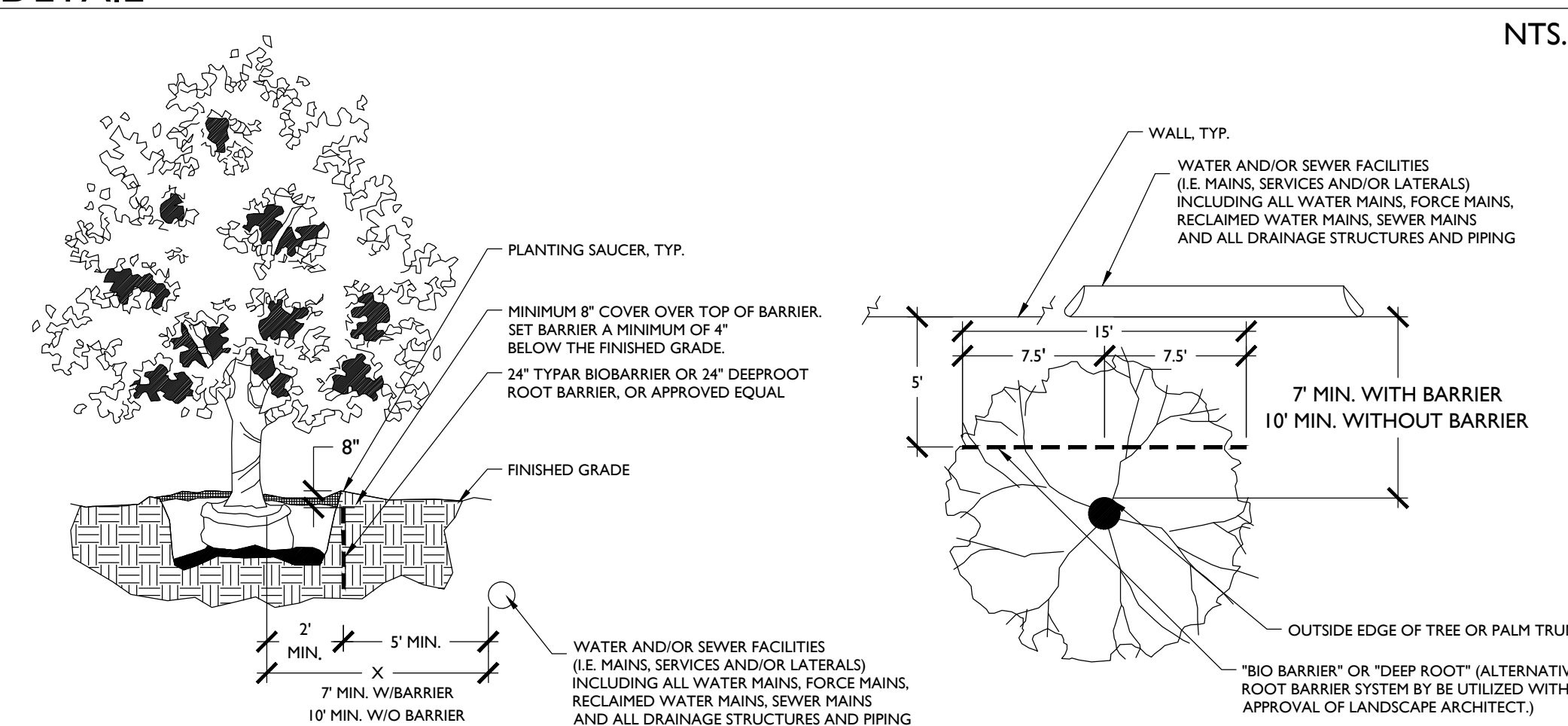


	BOUNDARY / RIGHT OF WAY
	EASEMENT / SETBACK
	CURB / EDGE OF PAVEMENT
	OVERHEAD UTILITY LINE
	EXIST. GRADE ELEVATIONS
	PROP. GRADE ELEVATIONS
	WATER LINE
	STORM LINE
	APPROX. LOCATION OF 100 YR FLOODPLAIN
	PROPOSED 100 YR FLOODPLAIN
	TREE W/ TAG (TO REMAIN)
	PROPOSED 1.5" TREE TO BE PLANTED
	PROPOSED GRAVEL
	PROPOSED CONCRETE
	PROPOSED HOSE BIB LOCATION

TREES					
CODE	QTY	COMMON NAME	BOTANICAL NAME	REMARKS	SHADE AREA
CE	3	Cedar Elm	Ulmus crassifolia	1.5" CAL. MIN., 10' HT X 5' SPRD. STRONG CENTRAL LEADER	875
LO	4	Live Oak	Quercus virginiana	1.5" CAL. MIN., 10' HT X 5' SPRD.	875
MO	3	Monterrey Oak	Quercus polymorpha	1.5" CAL. MIN., 10' HT X 5' SPRD.	875

NOTE:

1. TREES ARE TO BE INSTALLED WITH A MINIMUM TEN FOOT (10') SEPARATION FROM ANY PUBLIC WATER OR PUBLIC SEWER MAIN AND ALL SERVICE LINES, MANHOLE AND LIFT STATIONS. IF A TEN FOOT (10') SEPARATION CANNOT BE ACHIEVED THE TREE SHALL BE INSTALLED WITH A ROOT BARRIER SYSTEM.
2. ROOT BARRIERS SHALL COMPLY WITH ALL REQUIREMENTS OF THE MUNICIPALITY WITHIN WHICH THEY ARE LOCATED AS WELL AS WITH ANY REQUIREMENTS OF THE UTILITY OR THE AFFECTED UTILITIES IN THE EVENT THAT CONFLICTING REQUIREMENTS EXIST BETWEEN THIS ROOT BARRIER DETAIL AND THE MUNICIPALITY/UTILITY HOLDER REQUIREMENTS. THE MORE STRINGENT OF THE REQUIREMENTS SHALL BE APPLICABLE.



**NOTES:**

1. CONTRACTOR SHALL PROVIDE ADEQUATE WATER TO ESTABLISH NEWLY PLANTED TREES AND SUPPORT A VIGOROUS AND HEALTHY TREE GROWTH: OVERWATER OR FLOODING SHALL NOT BE ALLOWED. THE CONTRACTOR SHALL MONITOR, ADJUST, AND USE EXISTING IRRIGATION FACILITIES IF AVAILABLE AND FURNISH ANY ADDITIONAL, MATERIAL, EQUIPMENT, OR WATER TO ENSURE ADEQUATE IRRIGATION OF THE BALD CYPRESS ALL THROUGHOUT THE GROWING SEASON. THE CONTRACTOR SHALL DURING THE FIRST FOUR MONTHS AFTER PLANTING, AS REQUIRED TO ENSURE ADEQUATE WATER WITHIN ROOT BALL.
2. DURING PERIODS OF RESTRICTED WATER USAGE, ALL GOVERNMENT REGULATIONS AND ORDINANCES AND TEMPORARY ORDINANCES SHALL FOLLOW. THE CONTRACTOR MAY HAVE TO TRANSPORT WATER FROM PONDS OR OTHER SOURCES, AT NO ADDITIONAL EXPENSE TO THE OWNER WHEN IRRIGATION SYSTEMS ARE UNAVAILABLE.
3. CONTRACTOR TO PROVIDE WATERING SCHEDULE FOR APPROVAL BY LANDSCAPE ARCHITECT.

OWNER IS RESPONSIBLE FOR THE CARE AND MAINTENANCE OF THE TREES AND MAINTENANCE ON THE PROPERTY AFTER INITIAL ESTABLISHMENT. EVANUENCE OF THE PREMISES SHALL BE SUBJECT TO THE BEXAR COUNTY PROPERTY MAINTENANCE CODE.

PER CITY CODE: A HOSE BIB WILL BE PROPOSED WITHIN 100 FT OF NEWLY INSTALLED TREE.

**CAUTION:**  
CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.  
THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AVOIDING ALL EXISTING UTILITIES BY CALLING DIGGERS @ 1-800-DIG-TESS FOR LOCATION OF ALL UTILITIES, AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION.