

CPS/SAWS/COSA UTILITY NOTES:

- THE CITY OF SAN ANTONIO AS A PART OF ITS ELECTRIC, GAS, WATER, AND WASTEWATER SYSTEMS - CITY PUBLIC SERVICE BOARD (CPS ENERGY) AND SAN ANTONIO WATER SYSTEM (SAWS) - IS HEREBY DEDICATING THE EASEMENTS AND RIGHTS-OF-WAY FOR UTILITY, TRANSMISSION AND DISTRIBUTION INFRASTRUCTURE AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT", "ANCHOR EASEMENT", "SERVICE EASEMENT", "GAS EASEMENT", "OVERHANG EASEMENT", "UTILITY EASEMENT", "TRANSFORMER EASEMENT", "WATER EASEMENT", "SANITARY EASEMENT", AND/OR "RECYCLED WATER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND ERECTING UTILITY INFRASTRUCTURE AND SERVICE FACILITIES FOR THE REASONS DESCRIBED ABOVE. CPS ENERGY AND SAWS SHALL ALSO HAVE THE RIGHT TO RELOCATE SAID INFRASTRUCTURE AND SERVICE FACILITIES WITHIN EASEMENT AND RIGHT-OF-WAY AREAS, TOGETHER WITH THE PURPOSE OF ACCESSING SUCH INFRASTRUCTURE AND SERVICE FACILITIES AND THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF WATER, SEWER, GAS, AND/OR ELECTRIC INFRASTRUCTURE AND SERVICE FACILITIES. NO BUILDINGS, STRUCTURES, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN EASEMENT AREAS WITHOUT AN ENCROACHMENT AGREEMENT WITH THE RESPECTIVE UTILITY.
- ANY CPS ENERGY OR SAWS MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS ENERGY OR SAWS INFRASTRUCTURE AND SERVICE FACILITIES, LOCATED WITHIN SAID EASEMENT, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATIONS.
- THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE TV EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED HEREON.

HIGH PRESSURE NOTE:
A PORTION OF THE TRACT IS BELOW THE GROUND ELEVATION OF 643 FEET WHERE THE STATIC PRESSURE WILL NORMALLY EXCEED 80 PSI. AT ALL SUCH LOCATIONS, THE DEVELOPER OR BUILDER SHALL INSTALL AT EACH LOT, ON THE CUSTOMER'S SIDE OF THE METER, AN APPROVED TYPE PRESSURE REGULATOR IN CONFORMANCE WITH THE PLUMBING CODE OF THE CITY OF SAN ANTONIO.

WASTEWATER EDU NOTE:
THE NUMBER OF WASTEWATER EQUIVALENT DWELLING UNITS (EDU'S) PAID FOR THIS SUBDIVISION PLAT ARE KEPT ON FILE UNDER THE PLAT NUMBER AT THE SAN ANTONIO WATER SYSTEM.

IMPACT FEE PAYMENT NOTE:
WATER AND/OR WASTEWATER IMPACT FEES WERE NOT PAID AT TIME OF PLATTING FOR THIS PLAT. ALL IMPACT FEES MUST BE PAID PRIOR TO WATER METER SET AND/OR WASTEWATER SERVICE CONNECTION.

SURVEYOR'S NOTES:

- PROPERTY CORNERS ARE MONUMENTED WITH IRON PINS WITH A PLASTIC CAP STAMPED "DAM #5348 PROP. COR." UNLESS OTHERWISE NOTED.
- COORDINATES AND BEARINGS SHOWN HEREON ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, FOR THE SOUTH CENTRAL ZONE (4204), NORTH AMERICAN DATUM OF 1983.
- DISTANCES SHOWN HEREON ARE SURFACE DISTANCES. COORDINATES SHOWN HEREON ARE GRID COORDINATES.

GENERAL NOTES:

- NO STRUCTURES, FENCES, WALLS OR OTHER OBSTRUCTIONS THAT IMPEDE DRAINAGE SHALL BE PLACED WITHIN THE LIMITS OF THE DRAINAGE EASEMENTS SHOWN ON THIS PLAT. NO LANDSCAPING OR OTHER TYPE OF MODIFICATIONS, WHICH ALTER THE CROSS-SECTIONS OF THE DRAINAGE EASEMENTS, AS APPROVED, SHALL BE ALLOWED WITHOUT THE APPROVAL OF THE DIRECTOR OF PUBLIC WORKS. THE CITY OF SAN ANTONIO AND BEXAR COUNTY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS OVER GRANITOR'S ADJACENT PROPERTY TO REMOVE ANY IMPEDING OBSTRUCTIONS PLACED WITHIN THE LIMITS OF SAID DRAINAGE EASEMENTS AND TO MAKE ANY MODIFICATIONS OR IMPROVEMENTS WITHIN SAID DRAINAGE EASEMENTS.

FLOODPLAIN NOTE:
THE DRAINAGE EASEMENTS WERE DELINEATED TO CONTAIN THE LESSER OF THE BOUNDARIES OF THE 1% ANNUAL CHANCE (100 YEAR) FLOOD ZONE ESTABLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) IN ACCORDANCE WITH DIRM PANEL 4802004150 (DATED 09/20/10); OR THE 1% ANNUAL CHANCE (100 YEAR) ULTIMATE DEVELOPMENT CONDITION WATER SURFACE ELEVATION; OR THE 4% ANNUAL CHANCE (25 YEAR) ULTIMATE DEVELOPMENT FLOODPLAIN PLUS FREESIDE; CONSTRUCTION IMPROVEMENTS, OR STRUCTURES WITHIN THE DRAINAGE EASEMENTS AND FLOODPLAIN ARE PROHIBITED WITHOUT PRIOR WRITTEN APPROVAL FROM THE FLOODPLAIN ADMINISTRATOR OF THE CITY OF SAN ANTONIO OR BEXAR COUNTY.

CLOMRS PENDING FEMA APPROVAL NOTE:
THE 1% ANNUAL CHANCE (100 YEAR) FLOODPLAIN LIMITS SHOWN ON THIS PLAT WERE DELINEATED BASED UPON A CONDITIONAL LETTER OF MAP REVISION (CLMRS) STUDY PREPARED BY WGI AND APPROVED BY FEMA ON 09/27/2022 (CASE NO. 22-08-0226R). FLOODPLAIN INFORMATION IS SUBJECT TO CHANGE AS A RESULT OF FUTURE FEMA MAP REVISION AND/OR AMENDMENTS.

PLAT NO. 23-11800255

REPLAT ESTABLISHING 421 ROOSEVELT

BEING A TOTAL OF 44.561 ACRES OF LAND, INCLUSIVE OF: A ONE ACRE TRACT, ALL OF A 0.394 ACRE TRACT, AND A PORTION OF A ONE ACRE TRACT, ALL OF A 0.394 ACRE TRACT, AND A TOTAL OF 0.594 ACRES OF GROVE AVENUE AND MISSION ROAD ABANDONED BY ORDINANCE, ESTABLISHING ALL OF LOT 1, CITY BLOCK 8, MARTIN LINEN SUBDIVISION, RECORDED IN VOLUME 9513, PAGE 2 OF BEXAR COUNTY DEED AND PLAT RECORDS.

210.860.9224 FIRM NO. 15085

WGI.
WGIinc.com
870 W. HAUSSMAN RD SUITE 115 SAN ANTONIO, TEXAS 78203

D.A. LAWYER
448 BRUNNEN
5111 W. SH 46
NEW BRUNSWICK, TX 78132
PH: (832) 732-4449
FIRM #01015020
DATE: APR 2023 JOB: BRD524

SCALE: 1"=60'

DATE OF PREPARATION: 10/9/2023

STATE OF TEXAS
COUNTY OF BEXAR

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

BY: LIFSHTUTZ COMPANIES, L.P.
JAMES LIFSHTUTZ
1210 225 6742
215 W TRAVIS
SAN ANTONIO, TEXAS 78205

STATE OF TEXAS
COUNTY OF BEXAR

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED JAMES LIFSHTUTZ, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

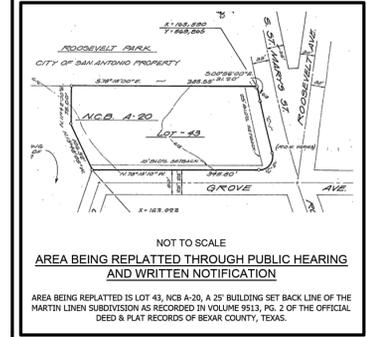
GIVEN UNDER MY HAND AND SEAL OF OFFICE
THIS _____ DAY OF _____, 2023

NOTARY PUBLIC, BEXAR COUNTY, TEXAS

THIS MINOR PLAT OF 421 ROOSEVELT HAS BEEN SUBMITTED TO THE CITY OF SAN ANTONIO, TEXAS, AND HAVING BEEN REVIEWED BY THE DIRECTOR OF DEVELOPMENT SERVICES IS HEREBY APPROVED BY IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS, AND/OR WHERE ADMINISTRATIVE EXCEPTION(S) HAVE BEEN GRANTED.

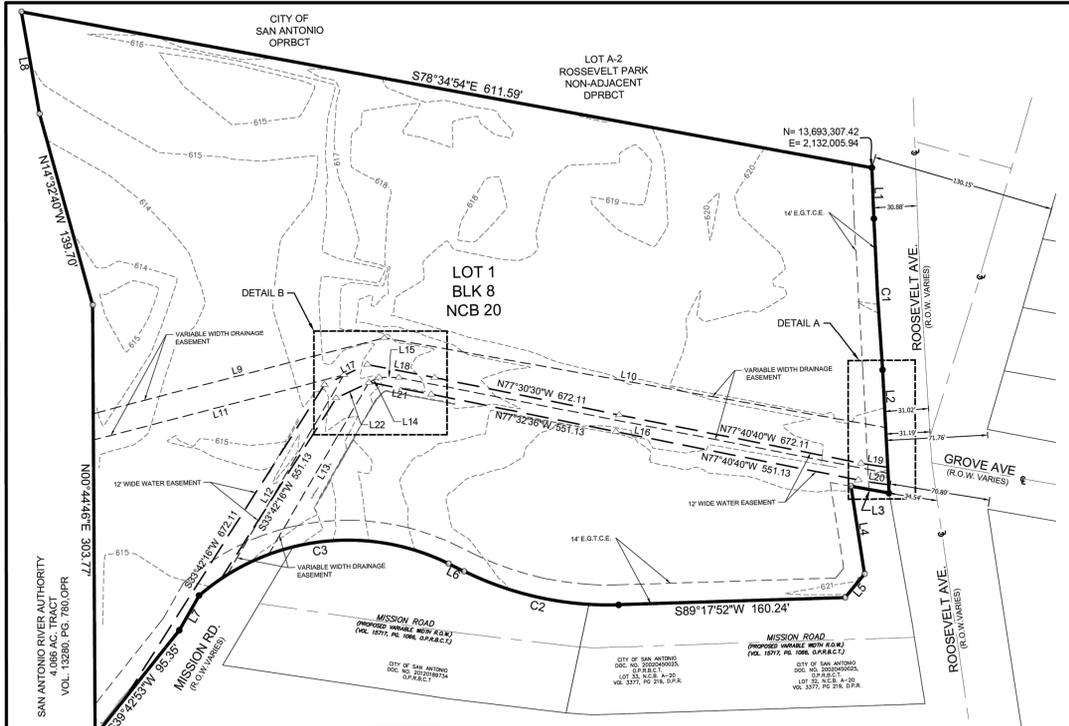
ON THIS _____ DAY OF _____, A.D. 2023

DIRECTOR OF DEVELOPMENT SERVICES



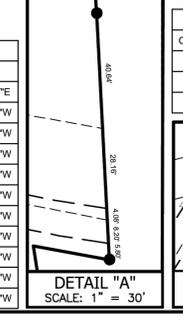
LEGEND

- PLATTED BOUNDARY
- EXISTING BOUNDARY
- CENTERLINE
- EXISTING CONTOUR
- DRAINAGE EASEMENT
- WATER EASEMENT
- (IPS) SET 1/2" IRON PIN W/ A PLASTIC CAP STAMPED "DAM #5348 PROP. COR." UNLESS OTHERWISE NOTED
- (IPF) (RF) FND 1/2" IRON PIN UNLESS OTHERWISE NOTED
- P.I. ON EASEMENT
- E.G.T.C.E. = ELECTRIC, GAS, TELE, & CABLE TV EASEMENT
- DPBCT = DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS
- OPRBCT = OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS
- AC. = ACRE
- R.O.W. = RIGHT-OF-WAY
- VOL. = VOLUME
- PG. = PAGE
- BLK. = BLOCK
- NCB. = NEW CITY BLOCK



LINE TABLE

LINE	LENGTH	BEARING	LINE	LENGTH	BEARING
L1	35.88'	S01°08'58.11"E	L12	163.15'	N31°29'34.07"E
L2	86.85'	S01°52'06.60"E	L13	140.23'	S31°29'34.07"W
L3	27.37'	N78°43'14.51"W	L14	8.10'	S63°57'16.81"W
L4	62.48'	S07°51'40.62"E	L15	14.03'	N88°01'20.18"W
L5	21.69'	S40°42'25.62"W	L16	352.46'	N77°53'47.79"W
L6	12.31'	N62°46'53.00"W	L17	33.58'	S65°52'08.81"W
L7	28.09'	S30°48'05.82"W	L18	48.42'	N77°53'26.14"W
L8	72.93'	N08°59'03.84"W	L19	18.87'	N79°57'56.56"W
L9	212.65'	N76°34'22.86"E	L20	17.89'	N80°12'44.02"W
L10	360.19'	S78°49'07.13"E	L21	44.46'	N77°53'26.14"W
L11	183.00'	S76°34'22.86"W	L22	26.19'	S65°52'08.81"W



CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	107.15'	2865.00'	2°08'34.02"	107.14'	S2°12'24.28"E
C2	112.98'	231.95'	27°54'29.06"	111.87'	N76°44'53.17"W
C3	188.32'	161.74'	66°42'40.88"	177.86'	S83°51'12.97"W

DETAIL "B"
SCALE: 1" = 40'

SHEET 1 OF 1

F:\9600\9675.00 421 Roosevelt\CIVL\05-Docs\20-Legal\Plot\Proposed\WGI\9675.00 - 421 Roosevelt Plot.dwg

REVISION

DATE

BY

210.860.9224 FIRM NO. F-15085

WGI.
WGIinc.com
755 E. MULBERRY AVE., SUITE 501, SAN ANTONIO, TEXAS 78212

STATE OF TEXAS
COUNTY OF BEXAR
TAYLOR J. ALLEN
137939
LICENSED PROFESSIONAL ENGINEER
6-12-2024

421 ROOSEVELT AVE.
423 ROOSEVELT AVENUE
SAN ANTONIO, BEXAR COUNTY, TEXAS

PLAT

SHEET
C003
03 OF 13
23-11800255

NOT FOR RECORDATION

SWAYNE: 01/20/2024 12:55 PM
PLOTTED BY: ERIN SANDOVAL
DRAWING: P:\9600\9675.00\23-11800255\05-Docs\20-Legal\Plot\Proposed\WGI\9675.00 - 421 Roosevelt Plot.dwg

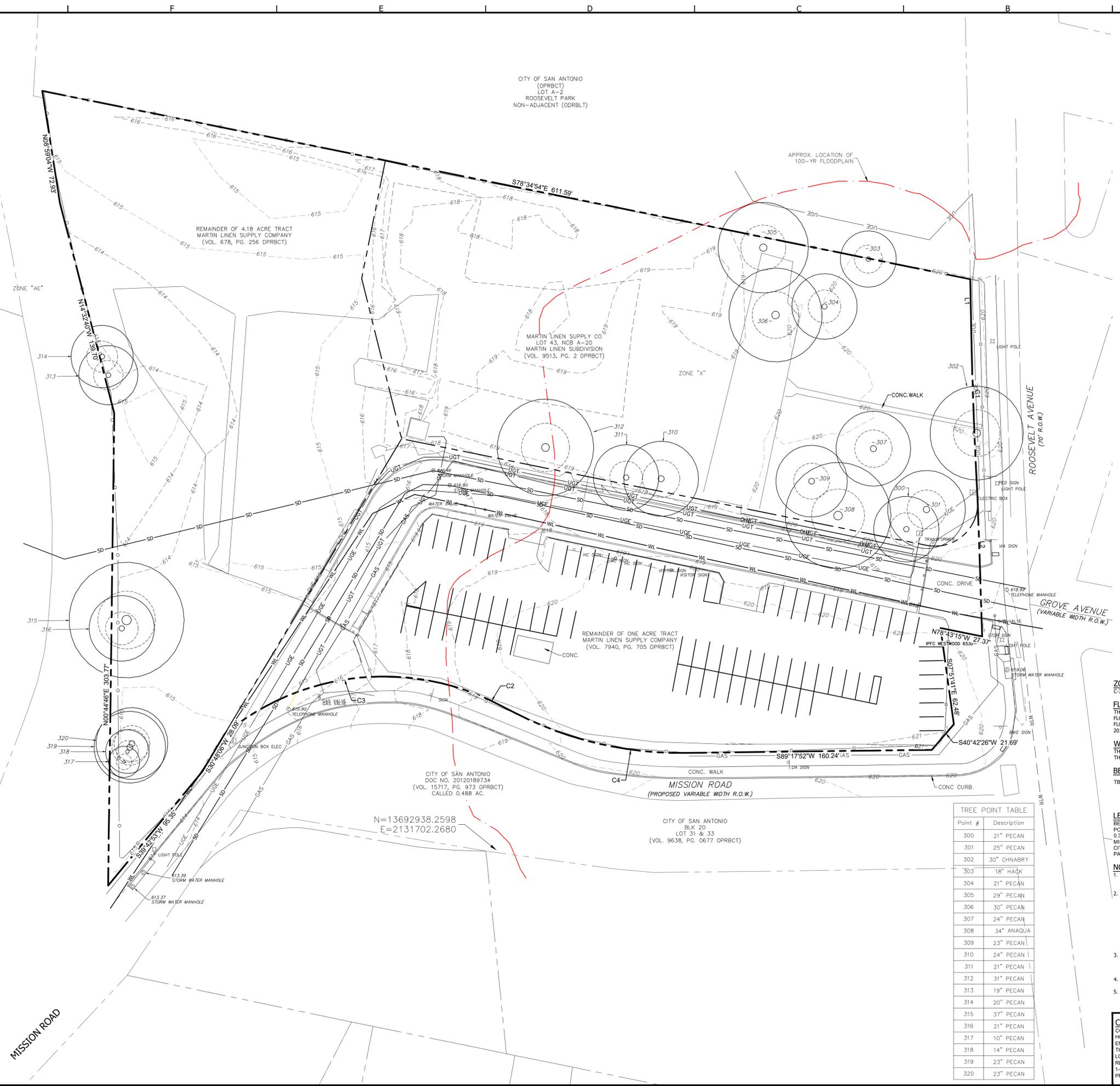


Know what's below. Call before you dig.



LEGEND

- BOUNDARY / RIGHT OF WAY
- - - EASEMENT / SETBACK
- CURB / EDGE OF PAVEMENT
- EXISTING CONTOURS
- - - APPROX. LOCATION OF 100 YR FLOODPLAIN
- CENTER LINE
- WL WATER LINE
- SD STORM LINE
- OHE OVERHEAD ELECTRIC
- UGE UNDERGROUND ELECTRIC
- UGT UNDERGROUND TELECOMM
- GAS GAS LINE
- CHAIN LINK FENCE
- IRON FENCE
- BENCHMARK
- WATER VALVE
- WASTEWATER MANHOLE
- POWER POLE
- GUY WIRE
- JUNCTION BOX
- LIGHT POLE
- FIRE HYDRANT
- EXISTING TREE



TREE POINT TABLE

Point #	Description
300	21" PECAN
301	25" PECAN
302	30" CHINABRY
303	18" HACK
304	21" PECAN
305	29" PECAN
306	30" PECAN
307	24" PECAN
308	34" ANAQUA
309	23" PECAN
310	24" PECAN
311	21" PECAN
312	31" PECAN
313	19" PECAN
314	20" PECAN
315	37" PECAN
316	21" PECAN
317	10" PECAN
318	14" PECAN
319	23" PECAN
320	23" PECAN

ZONING:

C-3NA, C-2NA, H RIO-4, AND H RIO-4 MC-1

FLOODPLAIN:

THIS PROJECT IS LOCATED IN ZONES "AE" AND "X", AREAS AFFECTED BY A 100 YEAR FLOODPLAIN, AS SHOWN ON THE FEDERAL FLOOD INSURANCE ADMINISTRATION FLOOD HAZARD BOUNDARY MAP, PANEL NO. 48029C0415G, DATED SEPTEMBER 29, 2010.

WATERSHED:

THIS PROJECT IS LOCATED IN THE UPPER SAN ANTONIO RIVER WATERSHED. THIS PROJECT IS NOT LOCATED OVER THE EDWARDS AQUIFER RECHARGE ZONE.

BENCHMARKS:

TBM A:	SET MAG NAIL	TBM B:	SET MAG NAIL
	N: 13692938.8333'		N: 13693016.6805'
	E: 2131702.0364'		E: 2131547.4543'
	ELEV: 620.44'		ELEV: 615.37'

LEGAL DESCRIPTION:

BEING A TOTAL OF 4.561 ACRES OF LAND, INCLUSIVE OF THE REMAINING PORTION OF A 4.18 ACRE TRACT, A PORTION OF A ONE ACRE TRACT, AND ALL OF A 0.384 ACRE TRACT, AND A TOTAL OF 0.894 ACRES OF GROVE AVENUE AND MISSION ROAD ABANDONED BY ORDINANCE, ESTABLISHING ALL OF LOT 43, CITY BLOCK A-20, MARTIN LINEN SUBDIVISION, RECORDED IN VOLUME 9513, PAGE 2 OF BEXAR COUNTY DEED AND PLAT RECORDS.

NOTES:

- EXISTING CONDITIONS SURVEY PREPARED BY D.A. MAWYER LAND SURVEYING, INC. ON JUNE 2023 (PROJECT NO. BRD524).
- ONLY VISIBLE IMPROVEMENTS & UTILITIES WERE PROVIDED FROM SURVEY (THE SURVEY/ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES). LOCATIONS OF EXISTING UTILITIES, SOME OF WHICH MAY NOT BE SHOWN, COULD IMPACT CONSTRUCTION MEANS AND METHODS. CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO BID & CONSTRUCTION, AND SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. THE CONTRACTOR TO CONTACT THE OWNER OF EACH INDIVIDUAL UTILITY FOR ASSISTANCE IN DETERMINING EXISTING UTILITY LOCATIONS.
- THE SIZE AND LOCATION OF UTILITY STRUCTURES, (IF SHOWN), MAY BE EXAGGERATED FOR GRAPHICAL CLARITY. THE SURVEY SHOWS FIELD MEASURED SIZES AND DEPTHS AS OBSERVED FROM GROUND LEVEL OPENINGS.
- REFERENCE COVER SHEET FOR ADDITIONAL INFORMATION.
- LIMITS OF CONSTRUCTION ARE SHOWN ON THE "EROSION & SEDIMENTATION CONTROL PLAN" SHEET.

CAUTION:

CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AVOIDING ALL EXISTING UTILITIES BY CALLING DIGTESS @ 1-800-DIG-TESS FOR LOCATION OF ALL UTILITIES, AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION.

CITY OF SAN ANTONIO (OPRBLT) LOT A-2 ROOSEVELT PARK NON-ADJACENT (ODRBLT)

REMAINDER OF 4.18 ACRE TRACT MARTIN LINEN SUPPLY COMPANY (VOL. 678, PG. 256 DPRBCT)

MARTIN LINEN SUPPLY CO LOT 43, NCB A-20 MARTIN LINEN SUBDIVISION (VOL. 9513, PG. 2 DPRBCT)

REMAINDER OF ONE ACRE TRACT MARTIN LINEN SUPPLY COMPANY (VOL. 7940, PG. 705 DPRBCT)

CITY OF SAN ANTONIO DOC. NO. 20120189734 (VOL. 15717, PG. 973 OPRBCT) CALLED 0.488 AC.

N=13692938.2598 E=2131702.2680

CITY OF SAN ANTONIO BLK 20 LOT 31 & 33 (VOL. 9638, PG. 0677 OPRBCT)

SAN ANTONIO RIVER AUTHORITY 4.066 ACRE TRACT (VOL. 13280, PG. 780, OPRBCT)

210.860.9274

WGInc.com

255 E. MULBERRY AVE., SUITE 501, SAN ANTONIO, TEXAS 78212

TAYLOR J. ALLEN
137939
LICENSED PROFESSIONAL ENGINEER
6-12-2024

423 ROOSEVELT AVE.
423 ROOSEVELT AVENUE
SAN ANTONIO, BEXAR COUNTY, TEXAS 78102

EXISTING CONDITIONS

SHEET
C100
04 OF 13
23-11800255

SWMT: 01/20/2023 12:55 PM
 PLOTTED BY: ERIN SANDOVAL
 Drawing: P:\Projects\23-11800255\423 Roosevelt Ave\DWG\23-11800255-C100-Existing Conditions.dwg

421 ROOSEVELT TREE INVENTORY ON-SITE (FLOODPLAIN)

COM-PRJ-APP23-39802291

Tag #	Species	Understory Species* 5.0" - 11.5"		Significant Tree 6" - 23.5"		Significant Tree** 10.0" - 23.5"		Heritage 3:1		Heritage 1:1		Additional Inches Preserved for Mitigation ***	Existing Canopy Remaining
		Removed	Preserved	Removed	Preserved	Removed	Preserved	Removed	Preserved	Removed	Preserved		
312	31" PECAN (City Deemed Dead)												
313	PECAN					19							
314	PECAN					20							
315	PECAN							37					
316	PECAN					21							
317	PECAN						10						1200
318	PECAN						14						1200
319	PECAN						23						1200
320	PECAN						23						1200
Tot. Inches=		0	0	0	0	60	70	37	0	0	0	0	4800
Total inches by category=			0		0		130		37		0		
Preservation percentage=		#DIV/0!		Significant Pres.		54%		Heritage Pres.		0%		0	
Mitigation req (Commercial)		0		Commercial (inches)		-18		Heritage Mitigation (inches)		111			
Mitigation req (Residential)		0		Residential (inches)		-25							
<p><i>No category to fall below 20% preservation;</i></p> <p><i>Preserved- Tree to remain that meets root protection zone requirements described in section 35-523 of the UDC.</i></p> <p><i>Mitigation 1:1 for significant trees below minimum preservation requirements; 3:1 for heritage trees below 100%</i></p> <p><i>* Small species: Condalia, Redbud, Tx. Mountain Laurel, Tx. Persimmon, Hawthorn, Possumhaw - these are mitigated at 1:1 for Heritage Trees</i></p> <p><i>** Ashe Juniper, Huisache, Mesquite, Arizona Ash, Hackberry protected at 10" dbh and mitigated at 1:1 for heritage trees</i></p> <p><i>*** Mitigation Trees: Unprotected-sized trees to be used for mitigation calculations; subtract inches from mitigation owed</i></p>													

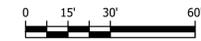
421 ROOSEVELT TREE INVENTORY ON-SITE (NON FLOODPLAIN)

COM-PRJ-APP23-39802291

Tag #	Species	Understory Species* 5.0" - 11.5"		Significant Tree 6" - 23.5"		Significant Tree** 10.0" - 23.5"		Heritage 3:1		Heritage 1:1		Presv. for Mitig. (in.)	Existing Canopy to Remain (in.)
		Remove	Presv.	Remove	Presv.	Remove	Presv.	Remove	Presv.	Remove	Presv.	Presv.	
300	PECAN						21						1200
301	PECAN								25				1200
302	30" CHINABERRY (NOT PROTECTED)												
303	18" HACKBERRY (NOT PROTECTED)												
304	21" PECAN (DEAD)												
305	PECAN								29				1200
306	PECAN								30				1200
307	PECAN								24				1200
308	ANAQUA										34		875
309	PECAN						23						1200
310	PECAN								24				1200
311	PECAN						21						1200
Sub. Tot. In.=		0	0	0	0	0	65	0	132	0	34	0	10475
Total in. by category=			0		0		65		132		34		
Preserv. (%) =		#DIV/0!		Significant Pres.		100%		Heritage Pres.		100%		0	
Mitigation req (Comm.) =		0		Comm. (in.)		-39		Heritage Mitigation (in.)		0			
Mitigation req (Resi.) =		0		Resi. (in.)		-42							



Know what's below. Call before you dig.



LEGEND

- BOUNDARY / RIGHT OF WAY
- EXISTING EASEMENT
- CURB / GUTTER
- EXISTING OVERHEAD ELECTRIC
- EXISTING UNDERGROUND ELECTRIC
- EXISTING COMMUNICATION LINE
- EXISTING GAS MAIN
- EXISTING WATER MAIN
- EXISTING WASTEWATER MAIN
- APPROX. LOCATION OF 100 YR FLOODPLAIN
- TREE TO REMAIN
- TREE TO BE REMOVED
- DEMOLITION AREA: ALL ITEMS WITHIN THIS AREA TO BE REMOVED, REPLACED OR RELOCATED AS NOTED

DEMOLITION KEY NOTES

- | | |
|----|--|
| 1 | EXISTING CONCRETE SECTION TO BE REMOVED. |
| 2 | EXISTING ASPHALT SECTION TO BE REMOVED. |
| 3 | EXISTING SIGN TO BE REMOVED. |
| 4 | EXISTING FENCE SECTION TO BE REMOVED. |
| 5 | EXISTING GATE TO BE REMOVED. |
| 6 | RECONSTRUCT STORM SEWER MANHOLE. REFER TO CITY OF SAN ANTONIO DRAINAGE CONSTRUCTION STRUCTURAL STANDARDS FOR JUNCTION BOXES. |
| 7 | REMOVE ELECTRIC MANHOLE. |
| 8 | REMOVE BOLLARD. |
| 9 | EXISTING ELECTRIC POLE TO BE REMOVED. CONTRACTOR TO COORDINATE WITH CPS ENERGY. |
| 10 | RE-ADJUST WATER VALVE STEMS PER SAWS STANDARDS. |
| 11 | CONTRACTOR TO REMOVE GAS METER AND CAP GAS LINE AS PER CPS ENERGY STANDARDS AND SPECIFICATIONS. |
| 12 | CONTRACTOR TO REMOVE EXISTING GUARD POSTS AND FDC PER SAWS CONSTRUCTION STANDARDS AND SPECIFICATIONS. |
| 13 | EXISTING CONCRETE STRUCTURAL WALL TO BE REMOVED. |
| 14 | CONTRACTOR TO REMOVE STORM WATER CURB INLET AS PER SAWS STANDARDS AND SPECIFICATIONS. |
| 15 | ELECTRIC BOX TO BE REMOVED. |

- NOTES:**
- EROSION/SEDIMENTATION CONTROL AND TREE PROTECTION MUST BE INSTALLED PRIOR TO ANY DEMOLITION. REFERENCE EROSION & SEDIMENTATION CONTROL PLAN SHEET.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIG TEST" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN PER THE APPROPRIATE REMEDIAL ACTION AGREED UPON BY THE ENGINEER.
 - WHERE A STATE OR LOCAL MUNICIPAL STANDARD DETAIL DUPLICATES A DETAIL SHOWN IN THE PLANS, THE MORE STRINGENT DETAIL, AS DETERMINED BY THE REVIEWING AGENCY, SHALL APPLY.
 - NO SITE DISTURBANCE SHALL OCCUR UNTIL THE PRECONSTRUCTION MEETING WITH THE ENVIRONMENTAL INSPECTOR IS HELD.
 - ALL DEMOLITION OF EXISTING CURBING AND SIDEWALKS MUST BE DONE BY HAND WHEN WORKING WITHIN THE 1/2 CRITICAL ROOT ZONE OF EXISTING TREES.
 - TREE PROTECTION FENCE MOVED DURING CONSTRUCTION MUST BE RE-INSTATED AS SOON AS DEMOLITION WORK IS COMPLETED. ANY WORK BEING DONE WITHIN THE TREE PROTECTION FENCE AREA MUST NOT IMPACT TREES; NO ROOT DAMAGE AND NO BRANCH OR TRUNK DAMAGE. ADD A 12" LAYER OF MULCH WITHIN THE TREE PROTECTION FENCE AREA PRIOR TO CONDUCTING ANY WORK INSIDE FENCE AREA.
 - LIMITS OF CONSTRUCTION ARE SHOWN ON THE EROSION & SEDIMENTATION CONTROL PLAN.

CAUTION:
 CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
 THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AVOIDING ALL EXISTING UTILITIES BY CALLING DIGTESS @ 1-800-DIG-TESS FOR LOCATION OF ALL UTILITIES, AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION.

CITY OF SAN ANTONIO
 (OPRBC) LOT A-2
 ROOSEVELT PARK
 NON-ADJACENT (ODRBLT)

SAN ANTONIO RIVER AUTHORITY
 4.066 ACRE TRACT
 (VOL. 13280, PG. 780, OPRBCT)

Point #	Description
300	21" PECAN
301	25" PECAN
302	30" CHNABRY
303	18" HACK
304	21" PECAN
305	29" PECAN
306	30" PECAN
307	24" PECAN
308	34" ANAQUA
309	23" PECAN
310	24" PECAN
311	21" PECAN
312	31" PECAN
313	19" PECAN
314	26" PECAN
315	32" PECAN
316	21" PECAN
317	10" PECAN
318	14" PECAN
319	23" PECAN
320	23" PECAN

CITY OF SAN ANTONIO
 DOC NO. 20120189734
 (VOL. 15717, PG. 973 OPRBCT)
 CALLED 0.488 AC.

CITY OF SAN ANTONIO
 BLK. 20
 LOT 31 & 33
 (VOL. 9638, PG. 0677 OPRBCT)

DWG: 01/20/2024 12:27 PM
 PLOTTED BY: ERIN SANDOVAL
 Drawing: P:\Projects\2024\11\11-RooseveltPark\11-RooseveltPark\11-RooseveltPark.dwg



423 ROOSEVELT AVE.
 423 ROOSEVELT AVENUE
 SAN ANTONIO, BEXAR COUNTY, TEXAS 78102

SHEET
CD100
 07 OF 13
 23-11800255



Know what's below. Call before you dig.



LEGEND

- BOUNDARY / RIGHT OF WAY
- - - - - EXIST. GRADE ELEVATIONS
- - - - - EXISTING PAVEMENT
- - - - - APPROX. LOCATION OF 100 YR FLOODPLAIN
- - - - - PROPOSED 100 YR FLOODPLAIN
- LOC --- LIMITS OF CONSTRUCTION / DISTURBANCE
- - - - - TEMPORARY SILT FENCE
- TP - TP - TREE PROTECTION FENCING
- - - - - LIMITS OF TEMPORARY PARKING, STORAGE, SPOILS, AND STAGING AREA
- STABILIZED CONSTRUCTION ENTRANCE
- CW --- CONCRETE WASHOUT
- IF --- INLET FILTER
- GEOSOLUTIONS TURF REINFORCEMENT MAT

EROSION CONTROL KEY NOTES

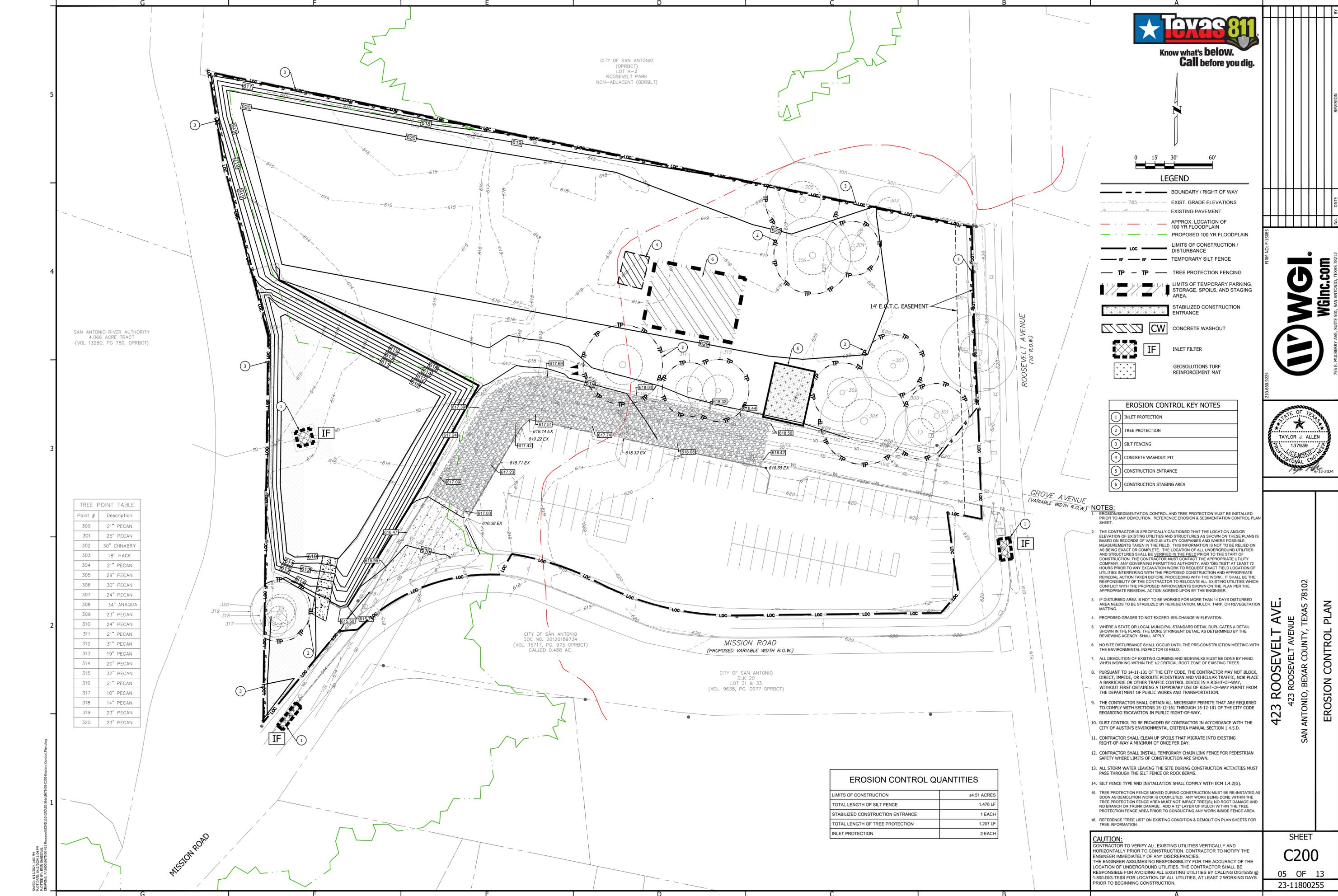
- 1 INLET PROTECTION
- 2 TREE PROTECTION
- 3 SILT FENCING
- 4 CONCRETE WASHOUT PIT
- 5 CONSTRUCTION ENTRANCE
- 6 CONSTRUCTION STAGING AREA

- NOTES:**
1. EROSION/SEDIMENTATION CONTROL AND TREE PROTECTION MUST BE INSTALLED PRIOR TO ANY DEMOLITION. REFERENCE EROSION & SEDIMENTATION CONTROL PLAN SHEET.
 2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIG TEST" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN PER THE APPROPRIATE REMEDIAL ACTION AGREED UPON BY THE ENGINEER.
 3. IF DISTURBED AREA IS NOT TO BE WORKED FOR MORE THAN 14 DAYS DISTURBED AREA NEEDS TO BE STABILIZED BY REVEGETATION, MULCH, TARP, OR REVEGETATION MATTING.
 4. PROPOSED GRADES TO NOT EXCEED 15% CHANGE IN ELEVATION.
 5. WHERE A STATE OR LOCAL MUNICIPAL STANDARD DETAIL DUPLICATES A DETAIL SHOWN IN THE PLANS, THE MORE STRINGENT DETAIL, AS DETERMINED BY THE REVIEWING AGENCY, SHALL APPLY.
 6. NO SITE DISTURBANCE SHALL OCCUR UNTIL THE PRE-CONSTRUCTION MEETING WITH THE ENVIRONMENTAL INSPECTOR IS HELD.
 7. ALL DEMOLITION OF EXISTING CURBS AND SIDEWALKS MUST BE DONE BY HAND WHEN WORKING WITHIN THE 1/2 CRITICAL ROOT ZONE OF EXISTING TREES.
 8. PURSUANT TO 14-11-131 OF THE CITY CODE, THE CONTRACTOR MAY NOT BLOCK, DIRECT, IMPEDE, OR REROUTE PEDESTRIAN AND VEHICULAR TRAFFIC, NOR PLACE A BARRICADE OR OTHER TRAFFIC CONTROL DEVICE IN A RIGHT-OF-WAY, WITHOUT FIRST OBTAINING A TEMPORARY USE OF RIGHT-OF-WAY PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION.
 9. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS THAT ARE REQUIRED TO COMPLY WITH SECTIONS 15-12-161 THROUGH 15-12-181 OF THE CITY CODE REGARDING EXCAVATION IN PUBLIC RIGHT-OF-WAY.
 10. DUST CONTROL TO BE PROVIDED BY CONTRACTOR IN ACCORDANCE WITH THE CITY OF AUSTIN'S ENVIRONMENTAL CRITERIA MANUAL SECTION 1.4.5.D.
 11. CONTRACTOR SHALL CLEAN UP SPOILS THAT MIGRATE INTO EXISTING RIGHT-OF-WAY A MINIMUM OF ONCE PER DAY.
 12. CONTRACTOR SHALL INSTALL TEMPORARY CHAIN LINK FENCE FOR PEDESTRIAN SAFETY WHERE LIMITS OF CONSTRUCTION ARE SHOWN.
 13. ALL STORM WATER LEAVING THE SITE DURING CONSTRUCTION ACTIVITIES MUST PASS THROUGH THE SILT FENCE OR ROCK BERMS.
 14. SILT FENCE TYPE AND INSTALLATION SHALL COMPLY WITH ECM 1.4.2(G).
 15. TREE PROTECTION FENCE MOVED DURING CONSTRUCTION MUST BE RE-INSTATED AS SOON AS DEMOLITION WORK IS COMPLETED. ANY WORK BEING DONE WITHIN THE TREE PROTECTION FENCE AREA MUST NOT IMPACT TREES; NO ROOT DAMAGE AND NO BRANCH OR TRUNK DAMAGE. ADD A 1" LAYER OF MULCH WITHIN THE TREE PROTECTION FENCE AREA PRIOR TO CONDUCTING ANY WORK INSIDE FENCE AREA.
 16. REFERENCE "TREE LIST" ON EXISTING CONDITION & DEMOLITION PLAN SHEETS FOR TREE INFORMATION.

CAUTION:
 CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
 THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AVOIDING ALL EXISTING UTILITIES BY CALLING DIGTEST @ 1-800-DIG-TESS FOR LOCATION OF ALL UTILITIES, AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION.

EROSION CONTROL QUANTITIES	
LIMITS OF CONSTRUCTION	±4.51 ACRES
TOTAL LENGTH OF SILT FENCE	1,476 LF
STABILIZED CONSTRUCTION ENTRANCE	1 EACH
TOTAL LENGTH OF TREE PROTECTION	1,207 LF
INLET PROTECTION	2 EACH

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314	20" PECAN
315	37" PECAN
316	21" PECAN
317	10" PECAN
318	14" PECAN
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320	23" PECAN



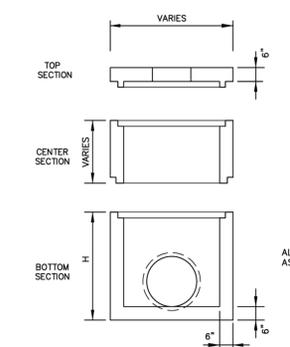
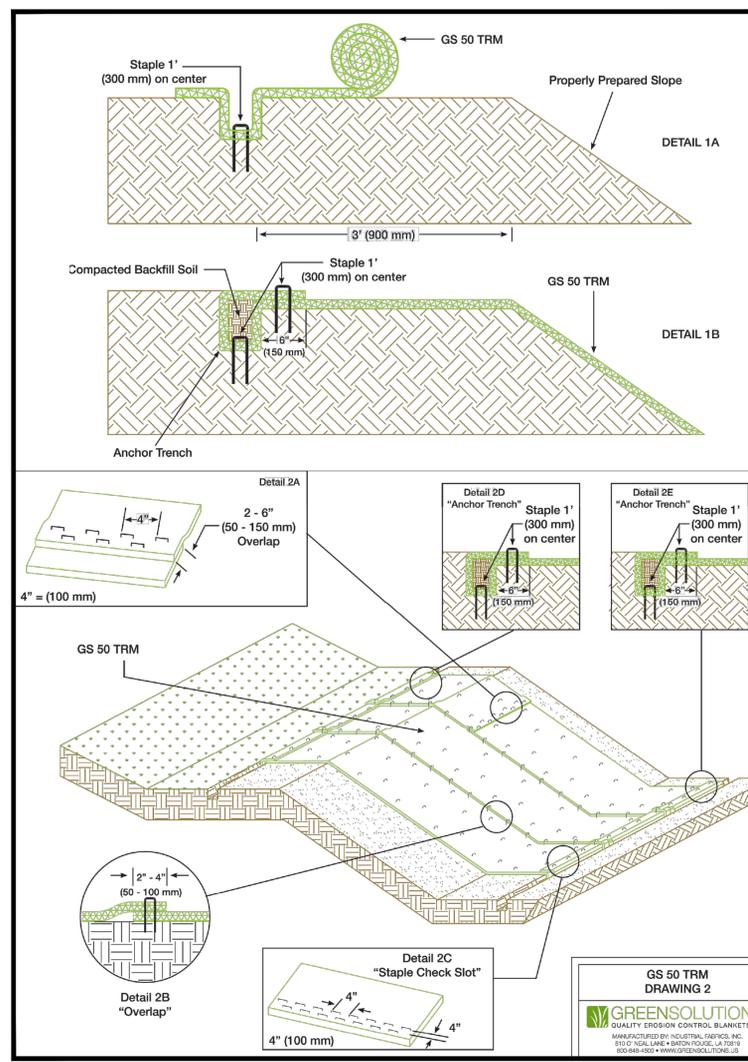
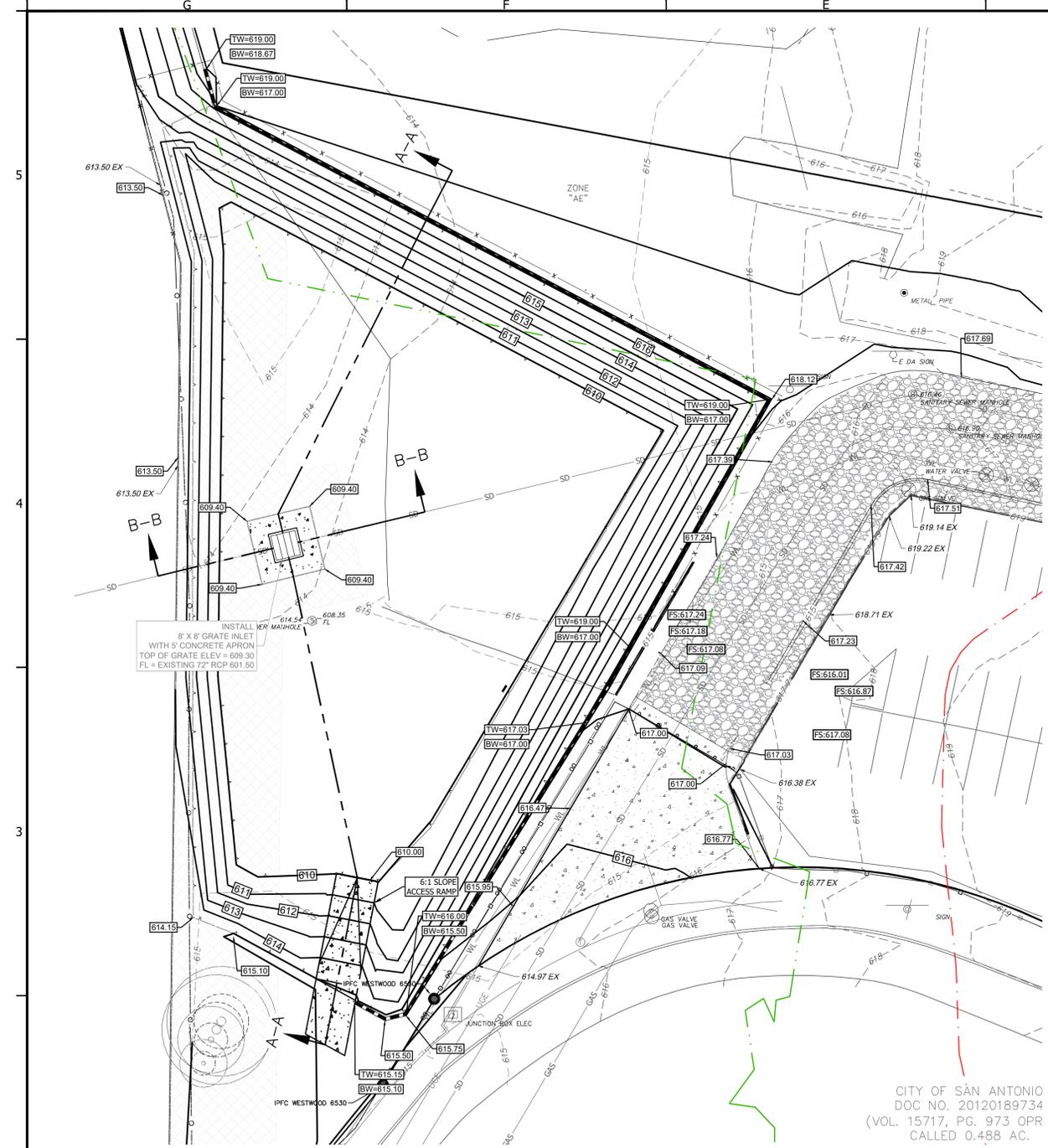
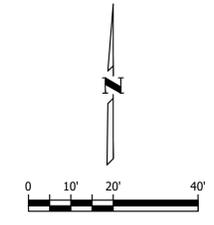
423 ROOSEVELT AVE.
 423 ROOSEVELT AVENUE
 SAN ANTONIO, BEXAR COUNTY, TEXAS 78102



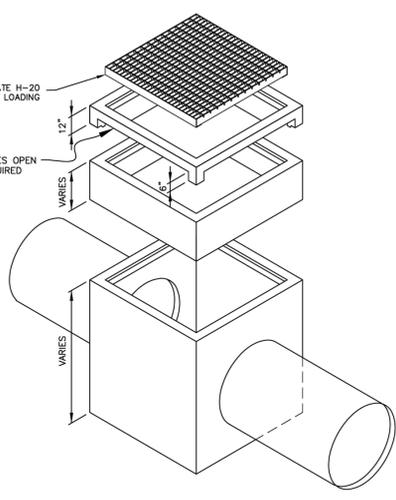
Know what's below. Call before you dig.

LEGEND

- BOUNDARY / RIGHT OF WAY
- - - EASEMENT / SETBACK
- CURB / EDGE OF PAVEMENT
- OHE — OVERHEAD UTILITY LINE
- XXXX — EXIST. GRADE ELEVATIONS
- XXXX — PROP. GRADE ELEVATIONS
- WL — WATER LINE
- SD — STORM LINE
- APPROX. LOCATION OF 100 YR FLOODPLAIN
- PROPOSED 100 YR FLOODPLAIN
- TREE W/ TAG (TO REMAIN)
- XXX.00 PROPOSED FINISHED GRADE
- XXX.00 PROPOSED FINISHED GRADE
- TC TOP OF CURB ELEVATION
- G GUTTER ELEVATION
- FL FLOW LINE ELEVATION
- HP HIGH POINT ELEVATION
- FG FINISHED GRADE
- ME MATCH EXISTING ELEVATION
- EX EXISTING ELEVATION
- FF FINISHED FLOOR ELEVATION
- TW TOP OF WALL ELEVATION
- GW FINISHED GRADE AT WALL
- PROPOSED GRAVEL
- PROPOSED CONCRETE

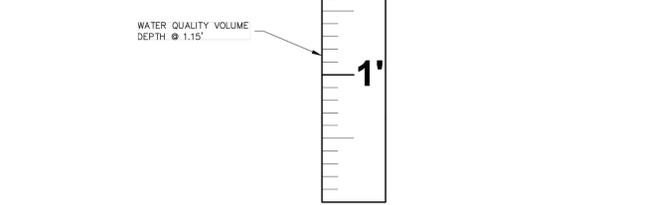


- NOTES:
- REFERENCE RESPECTIVE DRAIN PLAN & PROFILE FOR TYPE AND SIZE
 - STANDARD STRUCTURAL DESIGN IS BASED ON ASHRAE HS 20 WHEEL LOADING
 - MATERIAL SPECIFICATIONS:
CONCRETE TO HAVE 28 DAY COMPRESSIVE STRENGTH OF 4500 P.S.I.
REINFORCING TO COMPLY WITH ASTM A615 GRADE 60, A706 GRADE 60 OR A497 GRADE 70. BAR BENDING AND PLACEMENT SHALL COMPLY WITH THE LATEST ACI STANDARDS
 - STRUCTURE TO LIE ON COMPACTED GRANULAR BASE TO INSURE UNIFORM DISTRIBUTION OF SOIL PRESSURES
 - SHAPE INVERT WITH 2500 P.S.I. CONCRETE FILL AS REQUIRED (NO EXTRA PAY ITEM)
 - COORDINATE PIPE OPENINGS WITH MANUFACTURER
 - PRECAST BOXES BY OLDCASTLE OR APPROVED EQUAL



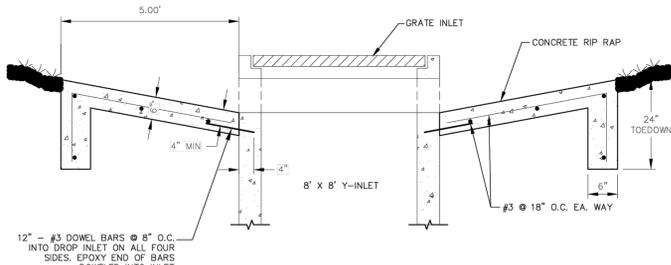
PRECAST JUNCTION BOX DETAILS

NOT TO SCALE



SEDIMENT DEPTH MARKER

NOT TO SCALE



CONCRETE APRON DETAIL

NOT TO SCALE

NOTES:

- REFERENCE LANDSCAPE PLAN FOR SODDING & SEEDING NOTES.
- ALL ITEMS ARE TO BE FURNISHED & INSTALLED BY CONTRACTOR. REFERENCE CONSTRUCTION DETAIL SHEETS FOR ADDITIONAL INFORMATION.
- ALL GRAVITY LINES ARE TO BE INSTALLED FROM DOWNSTREAM TO UPSTREAM.
- CONTRACTOR SHALL FORM SIDEWALKS AND VERIFY SLOPES PRIOR TO POURING CONCRETE. CONTRACTOR SHALL ENSURE THAT CROSS SLOPES ARE NO GREATER THAN 2% ALONG THE ACCESSIBLE ROUTE AND RUNNING SLOPE IS NO GREATER THAN 5%, UNLESS THE RUNNING SLOPE MATCHES THE EXISTING STREET SLOPE. IF ANY DISCREPANCY ARISES, CONTRACTOR SHALL CONTACT ENGINEER FOR SOLUTION.

CAUTION:

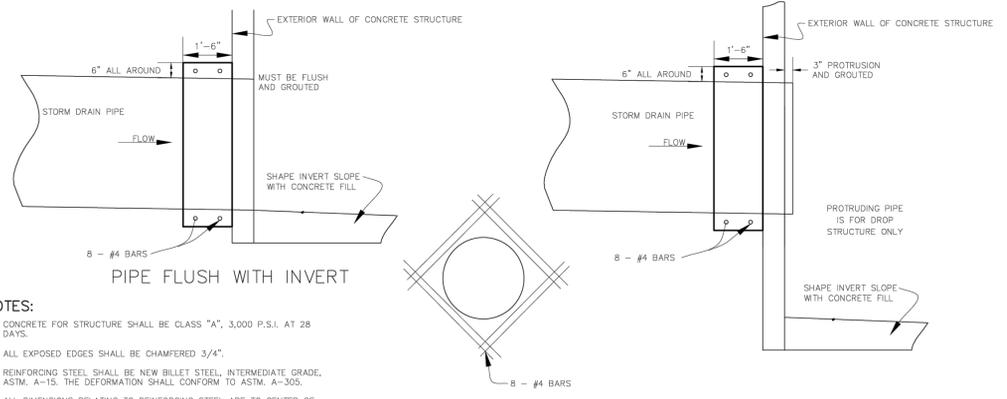
CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AVOIDING ALL EXISTING UTILITIES BY CALLING DIGTESS @ 1-800-DIG-TESS FOR LOCATION OF ALL UTILITIES, AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION.

NOTES:

- CONCRETE FOR STRUCTURE SHALL BE CLASS "A", 3,000 P.S.I. AT 28 DAYS.
- ALL EXPOSED EDGES SHALL BE CHAMFERED 3/4".
- REINFORCING STEEL SHALL BE NEW BILLET STEEL, INTERMEDIATE GRADE, ASTM A-15. THE DEFORMATION SHALL CONFORM TO ASTM A-305.
- ALL DIMENSIONS RELATING TO REINFORCING STEEL ARE TO CENTER OF BARS.
- ALL BARS INTERCEPTING MAN-HOLE OPENING AND STORM DRAIN PIPE SHALL BE FIELD-OUT.
- WHERE LAPING OF BARS IS REQUIRED, A MINIMUM LAP OF 33 DIAMETERS SHALL BE USED.
- INVERT OF INLETS AND JUNCTION BOXES TO BE SHAPED WITH CONCRETE FILL (3,000 P.S.I. MIN.) TO EFFECT DRAINAGE TO OUTLET PIPE. COST SUBSIDIARY TO CLASS "A" CONCRETE.

CONCRETE COLLAR DETAIL

NOT TO SCALE



CITY OF SAN ANTONIO
DOC NO. 20120189734
(VOL. 15717, PG. 973 OPR
CALLED 0.488 AC.

210.860.9274

FIRM NO. F-15085

WGI
WGInc.com

755 E. MULBERRY AVE., SUITE 501, SAN ANTONIO, TEXAS 78212

STATE OF TEXAS
TAYLOR J. ALLEN
137939
LICENSED PROFESSIONAL ENGINEER
6-12-2024

423 ROOSEVELT AVE.
423 ROOSEVELT AVENUE
SAN ANTONIO, BEXAR COUNTY, TEXAS 78102

RECLAMATION AREA PLAN AND DETAILS

SHEET
CG200
09 OF 13
23-11800255

DRAWN BY: BETH SANDOVAL
CHECKED BY: BETH SANDOVAL
DATE: 06/12/2024 12:29 PM
PROJECT: 23-11800255-01 Reclamation Area Plan and Details

