

# HISTORIC AND DESIGN REVIEW COMMISSION

June 28, 2024

**HDRC CASE NO:** 2024-224  
**ADDRESS:** 517 WICKES  
**LEGAL DESCRIPTION:** NCB 2916 BLK 5 LOT 17  
**ZONING:** RM-4, H  
**CITY COUNCIL DIST.:** 1  
**DISTRICT:** King William Historic District  
**APPLICANT:** Joe M and Stephanie Flores  
**OWNER:** Joe M and Stephanie Flores  
**TYPE OF WORK:** Historic Tax Certification & Verification  
**APPLICATION RECEIVED:** June 19, 2024  
**60-DAY REVIEW:** August 18, 2024  
**CASE MANAGER:** Rachel Rettaliata

## REQUEST:

The applicant is requesting Historic Tax Certification & Verification for the property at 517 Wickes.

## APPLICABLE CITATIONS:

*UDC Section 35-618. Tax Exemption Qualification.*

(d) Certification.

(1) Historic and Design Review Commission Certification. Upon receipt of the owner's sworn application the historic and design review commission shall make an investigation of the property and shall certify the facts to the city tax assessor-collector within thirty (30) days along with the historic and design review commission's documentation for recommendation of either approval or disapproval of the application for exemption.

*UDC Section 35-618 Tax Exemption Qualifications:*

*(e) Verification of Completion.* Upon completion of the restoration and rehabilitation, together with a fee as specified in Appendix "C" of this chapter, the owner, who may not be the same as at the time of application, shall submit a sworn statement of completion acknowledging that the historically significant site in need of tax relief to encourage preservation has been substantially rehabilitated or restored as certified by the historic and design review commission. The historic and design review commission, upon receipt of the sworn statement of completion, but no later than thirty (30) days thereafter, shall make an investigation of the property and shall recommend either approval or disapproval of the fact that the property has been substantially completed as required for certification. If the historic and design review commission recommends that it has not been substantially completed as so required, then the certified applicant may be required by the historic preservation officer to complete the restoration or rehabilitation in order to secure the tax exemption provided herein. If the verification of completion is favorable, the historic and design review commission shall recommend approval and the historic preservation office may notify the tax assessor-collector in writing of compliance. Thereafter, the tax assessor-collector shall provide the property with the historic tax exemption.

## FINDINGS:

- a. The primary structure at 517 Wickes is a 1-story, single-family residence constructed in the Craftsman style circa 1920. The structure features a composition shingle roof, an asymmetrical front porch on wood post supports, wood siding, and one-over-one wood windows. The property is contributing to the King William Historic District. The applicant is requesting Historic Tax Certification and Historic Tax Verification.
- b. The scope of work includes foundation repair, roof replacement, addition modification, window and siding repair, side door replacement, painting, interior fireplace and chimney restoration, wheelchair ramp installation, and driveway modifications.
- c. The applicant has met all the requirements for Historic Tax Certification outlined in UDC Section 35-618 and has provided evidence to that effect to the Historic Preservation Officer.

- d. Staff conducted a site visit on June 20, 2024, to examine the conditions of the property. Staff verifies that all work used to qualify for the Substantial Rehabilitation Tax Incentive has been completed and that there are no existing violations on the property.
- e. The applicant has met all requirements of the City's tax verification process as described in Section 35-618 of the UDC and has furnished evidence to that effect to the Historic Preservation Officer, including the submission of an itemized list of costs that meets the threshold to be eligible for the Substantial Rehabilitation Tax Incentive.
- f. Approval of Tax Verification by the HDRC in 2024, means that the property owner will be eligible for the Substantial Rehabilitation Tax Incentive beginning in 2025. The Substantial Rehabilitation Tax Incentive applies to the City of San Antonio tax entity line only.

**RECOMMENDATION:**

Staff recommends approval based on findings a through f.

## Required documents

- One set of complete plans for restoration and rehabilitation both exterior and interior. This could include drawings or photos of the narrative. **Please see architectural designs.**
- Detailed written narrative explaining the proposed work.
  - This home was down to the studs when we purchased it
  - **Foundation:** The foundation issues were rectified.
  - **Exterior/Windows** We restored all windows and simply installed glass to any broken sashes. We utilized the weights and purchased new rope to keep the integrity of the windows. We kept the exterior paint white with gray trim.
  - **Doors:** Front door is still the original door. We purchased a wood door for our rear side door from Pickers Paradise.
  - **Exterior Siding** was restored as much as possible and any damaged ones were replaced with 117 siding.
  - **The rear of the home** was an addition, but the roof line was not aligned. We obtained permission from OHD to align it.
  - **The roof** was completely replaced with the same type of material as original (composition shingle)
  - **Fireplace:** The fireplace is the original and has been restored both exterior and interior.
  - **Wheelchair ramp:** This was approved by OHD and added to the side to maintain front of home integrity
  - **Driveway expanded for ADA vehicles-** This was approved by OHD.
- Itemized list of expected work both interior and exterior. See Page 4
- Project time schedule: **Work started in July 2023 and we completed the work end of February.**
- Estimated associated costs: ██████████
  - Color photos of the exterior and interior
  - Color photos of the structure from the street,

List of  
repairs for  
517 Wickes

		Status
1	Subflooring Labor	Completed
2	Subflooring material	Completed
3	Framing Labor	Completed
4	Framing material	Completed
5	Cathedral Ceiling Interior	Completed
6	Roof material	Completed
7	Roof labor	Completed
8	All new Electrical (all outlets, ceiling fans, new breaker boxes)	Completed
9	Additional Roof replacement	Completed
10	All new Plumbing	Completed
11	Dry wall	Completed
12	Interior Doors	Completed
13	11 Windows to restore with rope and weights	Completed
14	Kitchen cabinets	Completed
15	Kitchen quartz countertops	Completed
16	Fireplace restoration interior	Completed
17	Paint	Completed
18	Build out Bathroom 1	Completed
19	Build out Bathroom 2	Completed
20	Built out Bathroom 3 (1/2 bath)	Completed
21	Trim/ baseboards	Completed
22	Sod for front	Completed
23	Fixtures	Completed
24	HVAC	Completed
25	Demo	Completed
26	Luxury vinyl flooring	Completed
27	Shed	Completed
28	Porch Deck Boards	Completed
29	Wheel chair ramp	Completed
30	Shed	Completed
31	Sand and paint exterior	Completed
32	Replace broken siding boards with 117	Completed
33	Driveway expanded to fit ADA vehicles	Completed

# Front of Home Pictures

Before



After



# Right side of home



# Left side of home



# Left side continued



# Rear of Home



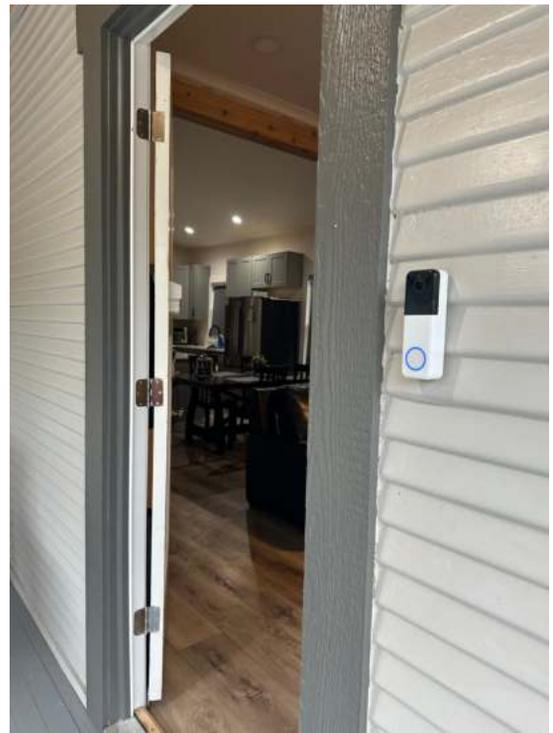
# Interior

# Entry/ Living Room

Before



After



# Kitchen

Before



After



# Master bedroom`

Before



After

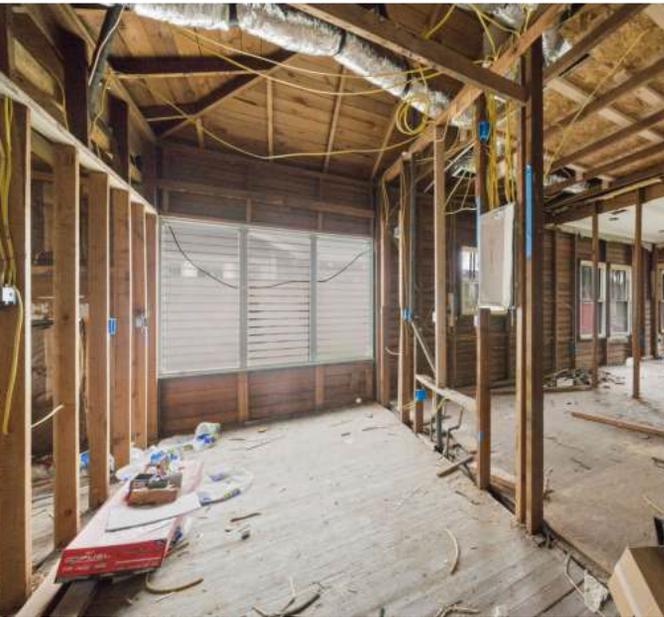


More After

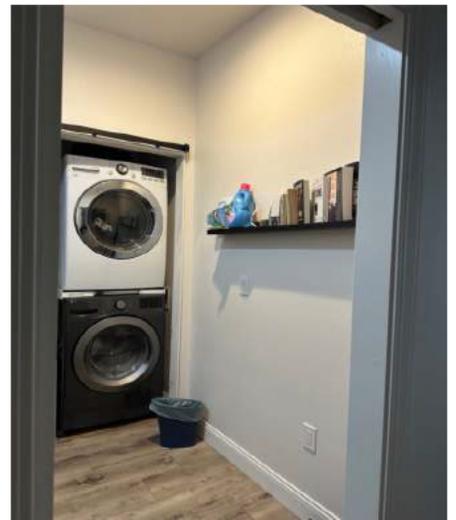
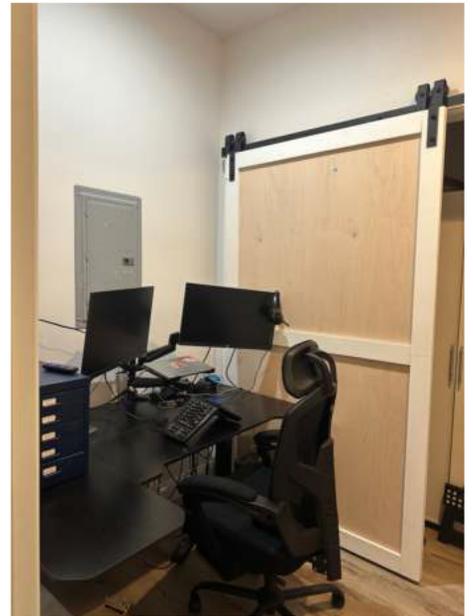


# Office

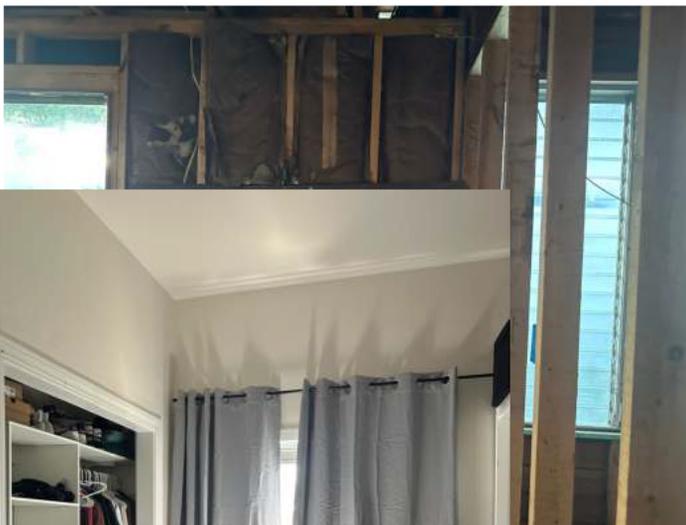
Before



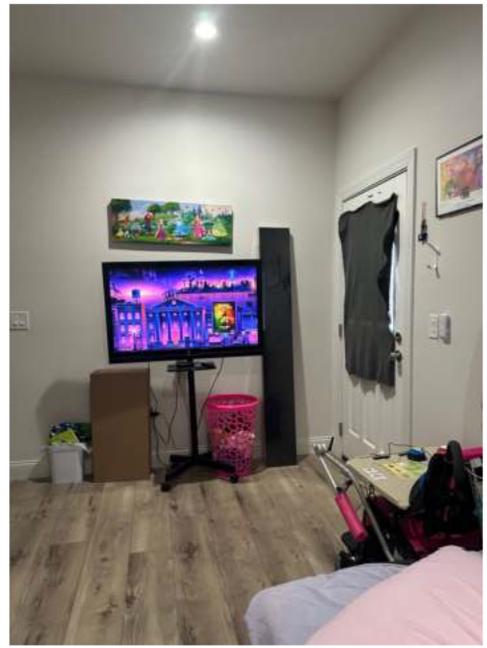
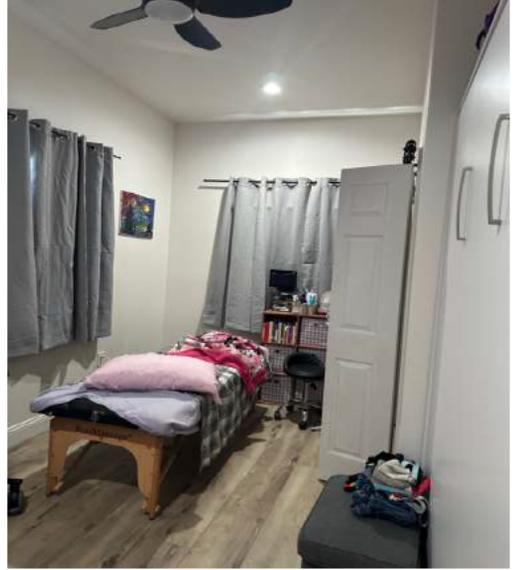
After



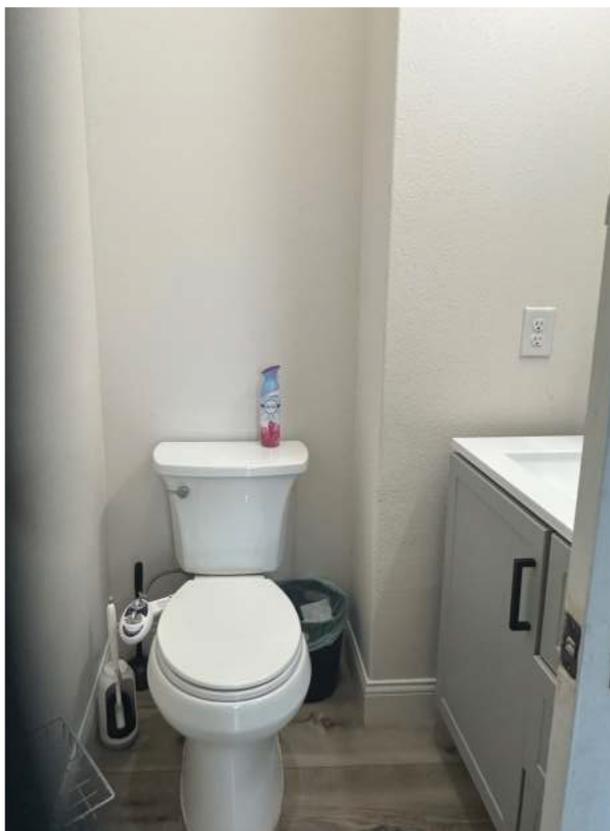
# Bedroom #2



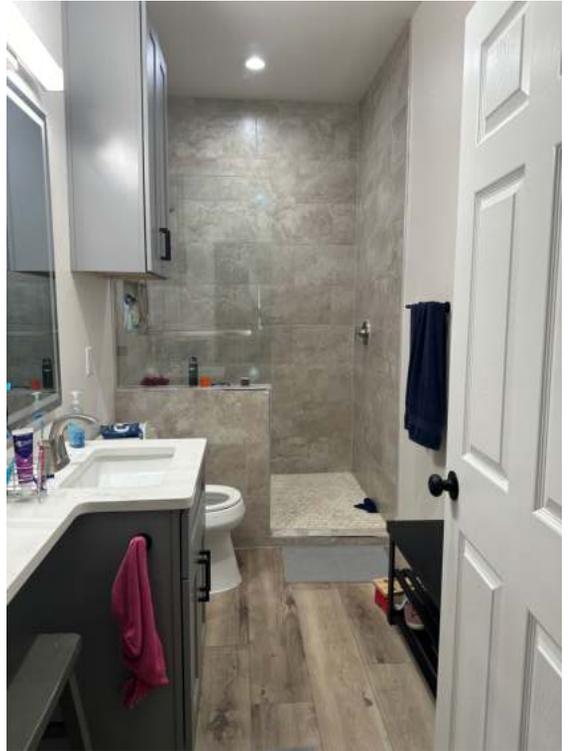
# Bedroom 3



# Half Bath



# Kid's Bathroom

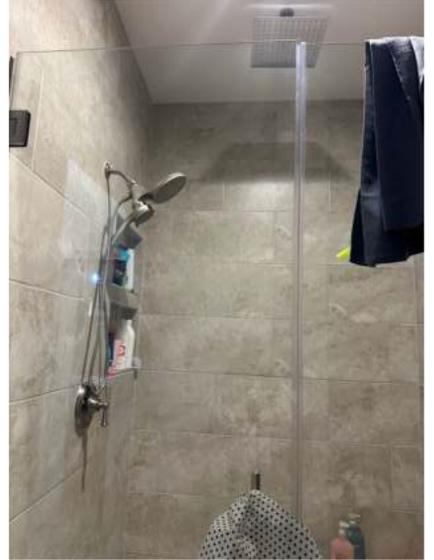


# Master Bathroom

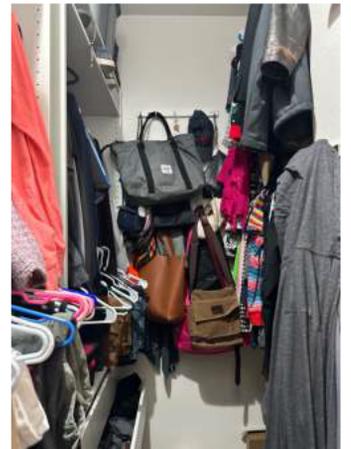
Before



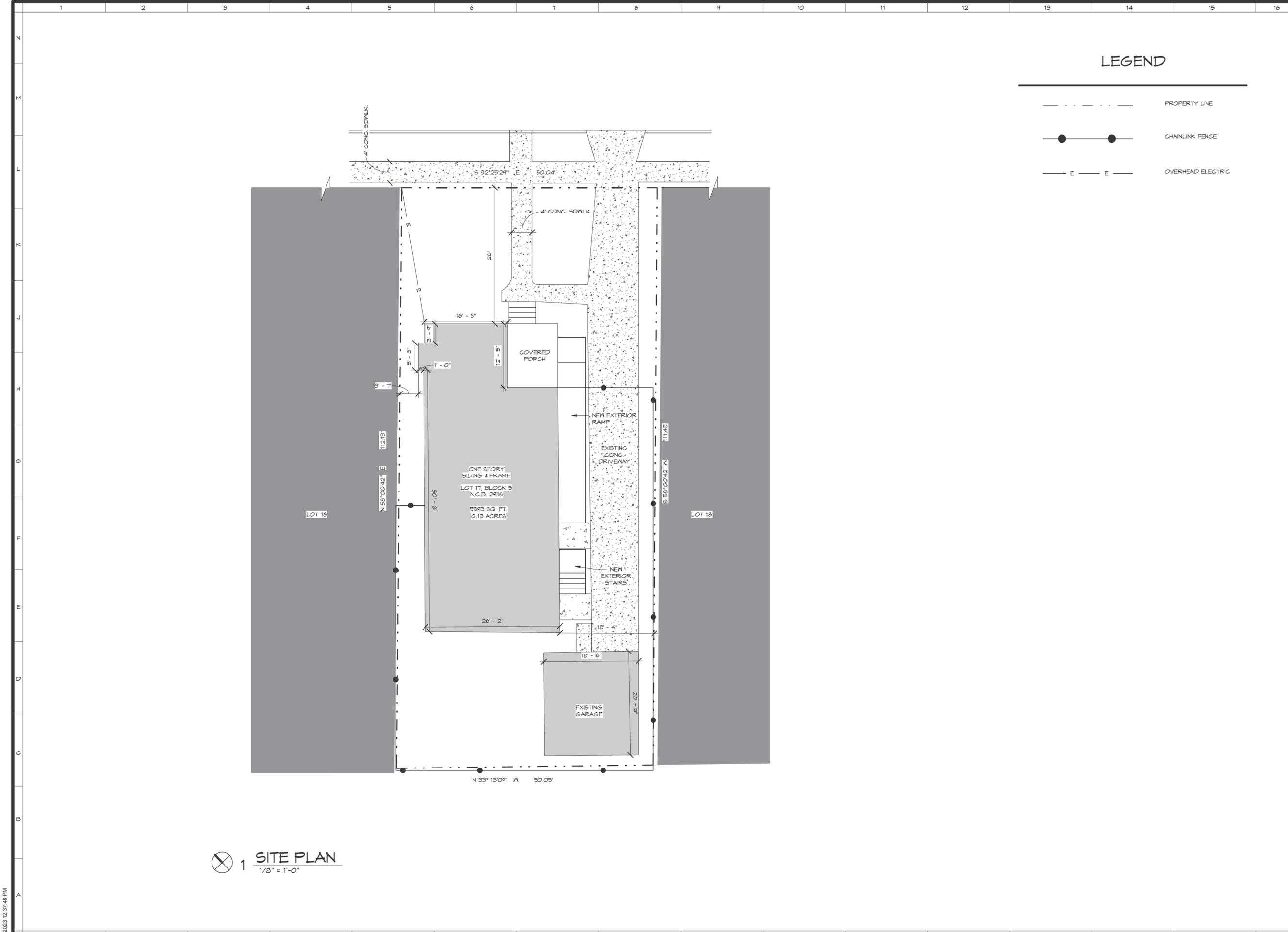
After



Closet







**LEGEND**

- PROPERTY LINE
- CHAINLINK FENCE
- E — OVERHEAD ELECTRIC

1 SITE PLAN  
1/8" = 1'-0"



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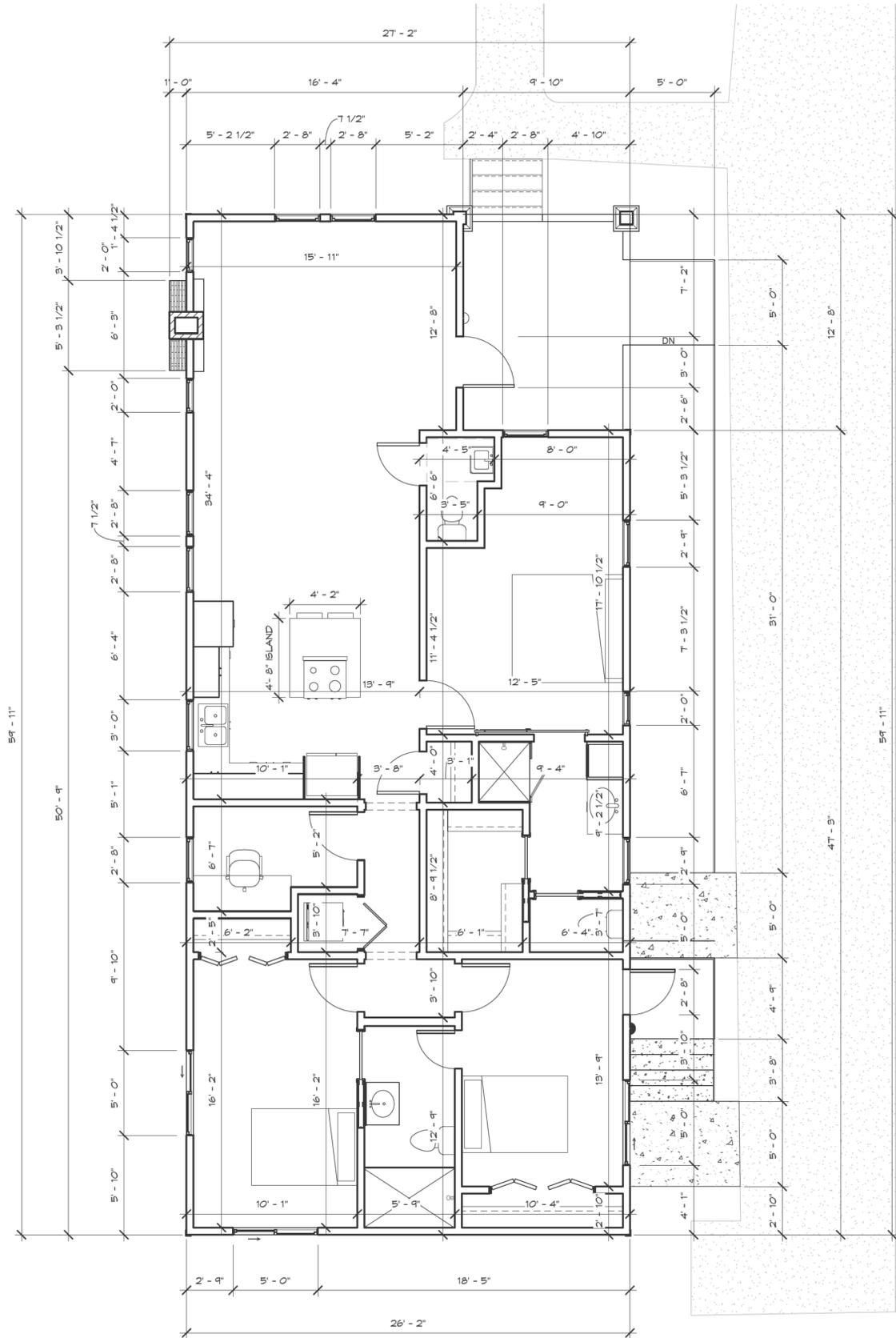
Drawn By: MTM  
Checked By: JJC  
Job Number: 23-022

SITE PLAN		
No.	DATE	DESCRIPTION

Date: 06/06/23

Drawing No: **A1.0**





1 DIMENSION PLAN  
 1/4" = 1'-0"



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Drawn By: MTM  
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DIMENSION PLAN

No.	DATE	DESCRIPTION

Date: 06/06/23

Drawing No:

**A2.1**



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Drawn By: MTM  
Checked By: JJC  
Job Number: 23-022

OUTLET PLAN

No.	DATE	DESCRIPTION

Date: 06/06/23  
Drawing No:

**A2.2**

**ELECTRICAL REQUIREMENTS**

LIGHTING REQUIREMENTS:

AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN EVERY HABITABLE ROOM AND IN BATHROOMS, HALLWAYS, STAIRWAYS, ATTACHED GARAGES, DETACHED GARAGES PROVIDED WITH ELECTRICAL POWER AND AT THE EXTERIOR SIDE OF EGRESS DOORS.

STAIRWAY LIGHTING CONTROL:

ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH A MEANS OF ILLUMINATION TO THE STAIR, INCLUDING THE LANDINGS AND TREADS, TO BE CONTROLLED BY A WALL SWITCH AT EACH FLOOR LEVEL. INTERIOR STAIRS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF EACH LANDING AT THE TOP AND BOTTOM OF THE STAIR. EXTERIOR STAIRS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE TOP LANDING OF THE STAIR. EXCEPTION: WHERE THE DIFFERENCE BETWEEN FLOOR LEVELS REQUIRES LESS THAN 6 STAIR RISERS.

FIXTURES IN CLOTHES CLOSETS:

SURFACE MOUNTED FLUORESCENT FIXTURES SHALL BE INSTALLED ON THE WALL ABOVE THE DOOR OR ON THE CEILING, PROVIDED THERE IS A MINIMUM CLEARANCE OF 6" BETWEEN THE FIXTURE AND THE NEAREST POINT OF A STORAGE SPACE.

WET OR DAMP LOCATIONS:

FIXTURES INSTALLED IN WET OR DAMP LOCATIONS SHALL BE INSTALLED SO THAT WATER CANNOT ENTER OR ACCUMULATE IN WIRING COMPARTMENTS, LAMP HOLDERS OR OTHER ELECTRICAL PARTS. ALL FIXTURES INSTALLED IN WET LOCATIONS SHALL BE MARKED "SUITABLE FOR WET LOCATIONS". ALL FIXTURES INSTALLED IN DAMP LOCATIONS SHALL BE MARKED "SUITABLE FOR DAMP LOCATIONS" OR "SUITABLE FOR WET LOCATIONS".

LIGHT SWITCH ACCESS:

ALL SWITCHES SHALL BE LOCATED TO ALLOW OPERATION FROM A READILY ACCESSIBLE LOCATION.

HIGH-EFFICIENCY INTERIOR LIGHTING SYSTEM:

ALL PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE LED COMPACT OR LINEAR FLUORESCENT, OR A LIGHTING SOURCE HAS A MINIMUM EFFICACY OF 40 LUMENS PER INPUT WATT.

RECEPTACLE OUTLET REQUIREMENTS:

IN EVERY KITCHEN, FAMILY ROOM, DINING ROOM, LIVING ROOM, DEN, BEDROOM, OR SIMILAR ROOM OR AREA OF DWELLING UNITS, RECEPTACLE OUTLETS SHALL BE INSTALLED SO THAT NO POINT ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6 FEET, MEASURED HORIZONTALLY FROM AN OUTLET IN THAT SPACE, INCLUDING ANY WALL SPACE THAT IS 2 FEET OR MORE IN WIDTH.

KITCHENS:

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BATHROOMS:

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OUTDOORS:

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HALLWAYS:

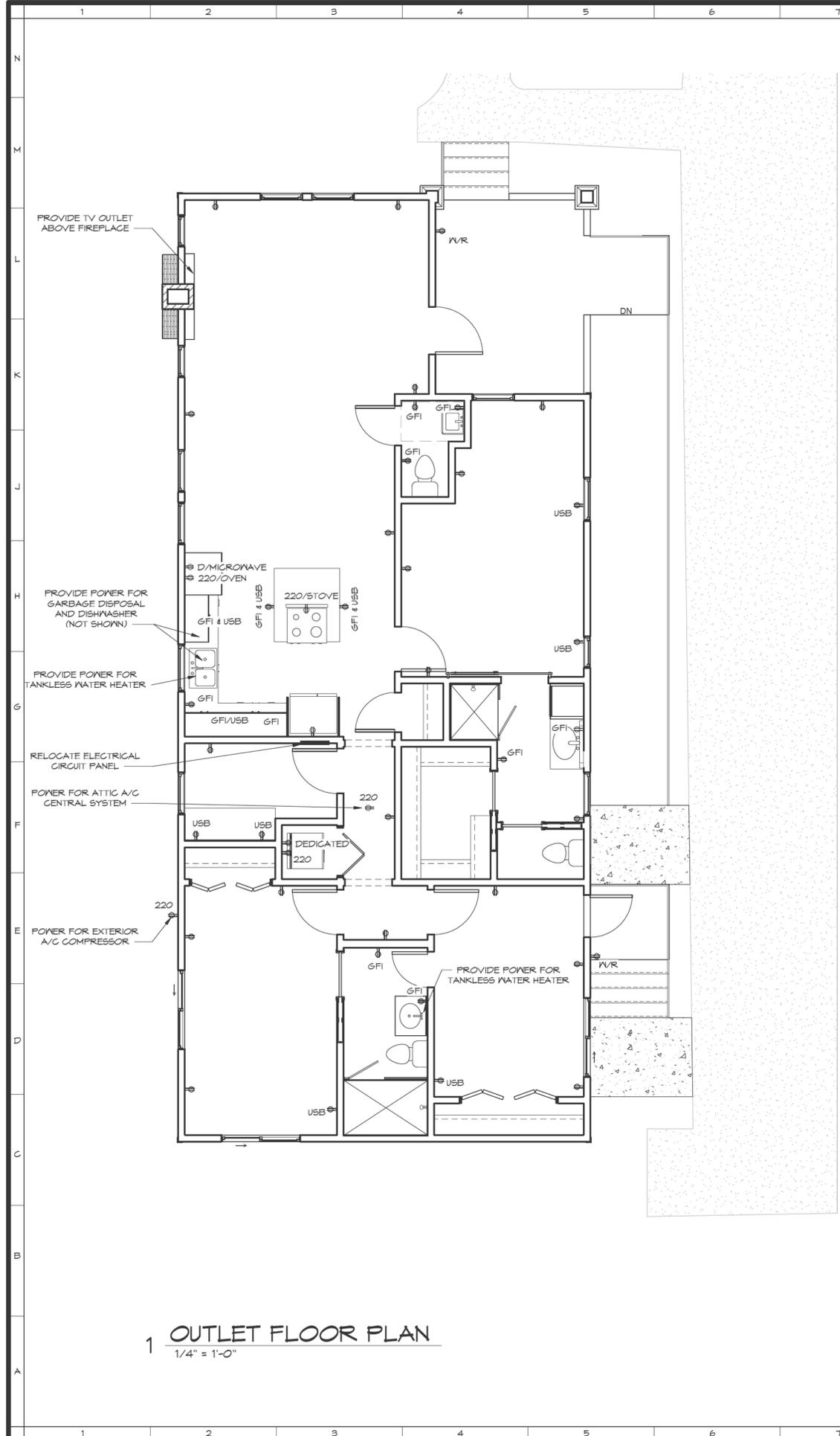
HALLWAYS OF 10 FEET OR MORE IN LENGTH SHALL HAVE AT LEAST ONE RECEPTACLE OUTLET.

HVAC OUTLET:

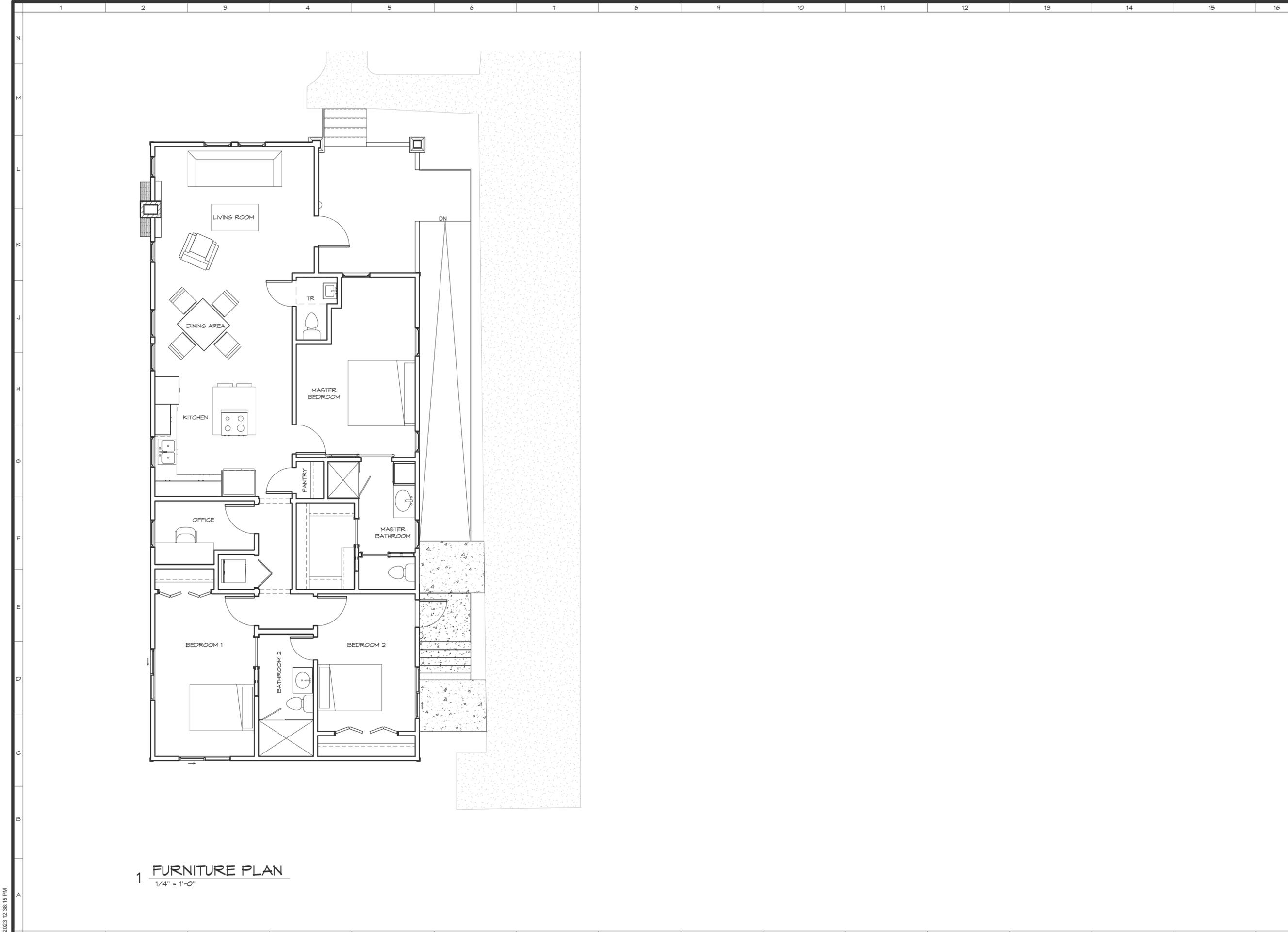
A CONVENIENCE RECEPTACLE OUTLET SHALL BE INSTALLED FOR THE SERVICING OF HEATING, AIR-CONDITIONING AND REFRIGERATION EQUIPMENT LOCATED IN ATTICS AND CRAWL SPACES.

WET LOCATIONS:

A RECEPTACLE INSTALLED IN A WET LOCATION SHALL BE IN A WEATHER PROOF ENCLOSURE, THE INTEGRITY OF WHICH IS NOT AFFECTED WHEN THE ATTACHMENT PLUG CAP IS INSERTED.



**1 OUTLET FLOOR PLAN**  
1/4" = 1'-0"



1 FURNITURE PLAN  
1/4" = 1'-0"

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Drawn By: MTM  
Checked By: JJC  
Job Number: 23-022

FURNITURE PLAN		
No.	DATE	DESCRIPTION

Date: 06/06/23  
Drawing No: **A2.3**



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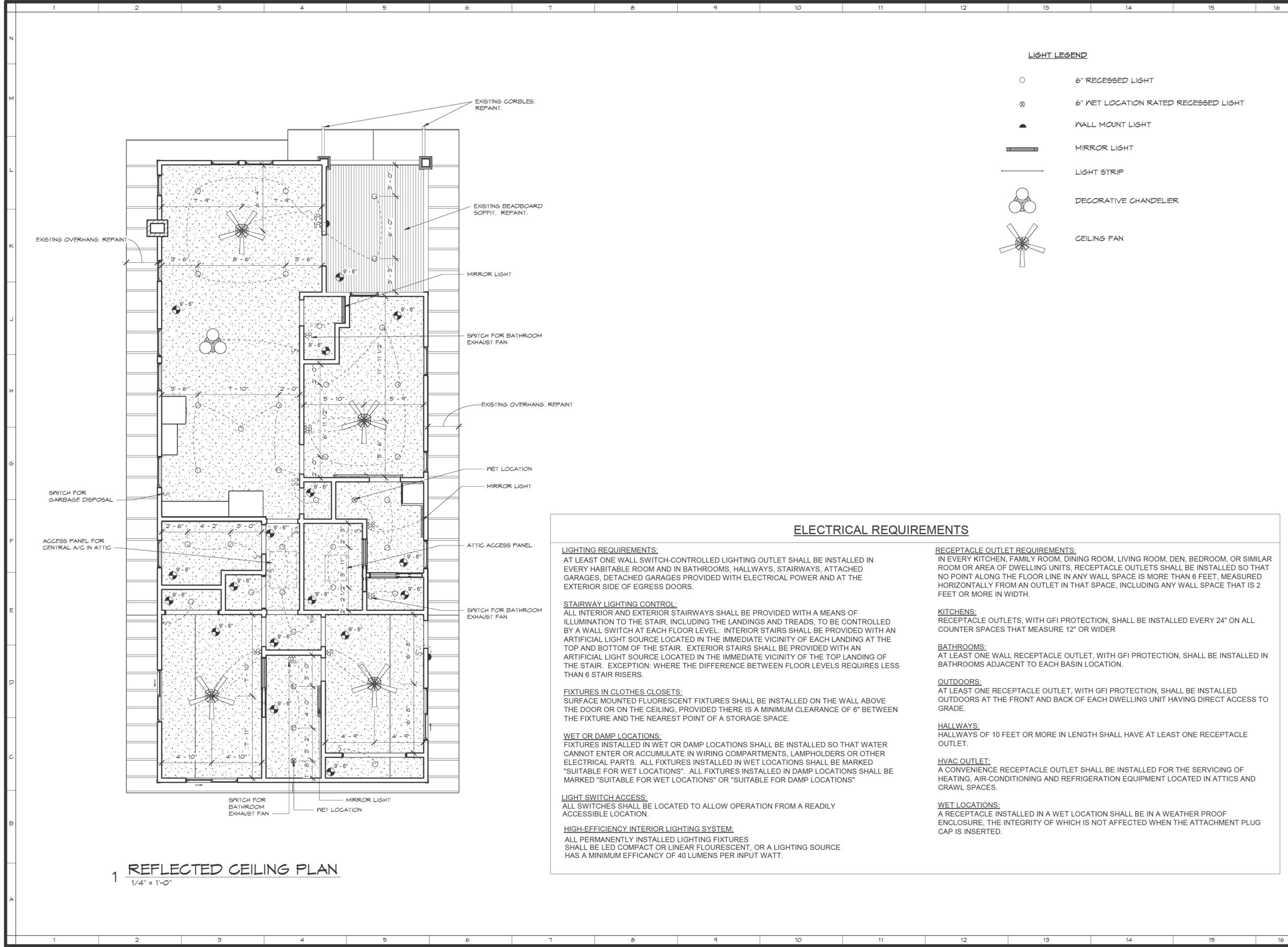
Drawn By: MTM  
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**REFLECTED CEILING PLAN**

No.	DATE	DESCRIPTION

Date: 06/06/23  
Drawing No:

**A3.0**



- LIGHT LEGEND**
- 6" RECESSED LIGHT
  - ⊗ 6" WET LOCATION RATED RECESSED LIGHT
  - ▲ WALL MOUNT LIGHT
  - ▬ MIRROR LIGHT
  - LIGHT STRIP
  - ⊕ DECORATIVE CHANDELIER
  - ✱ CEILING FAN

**ELECTRICAL REQUIREMENTS**

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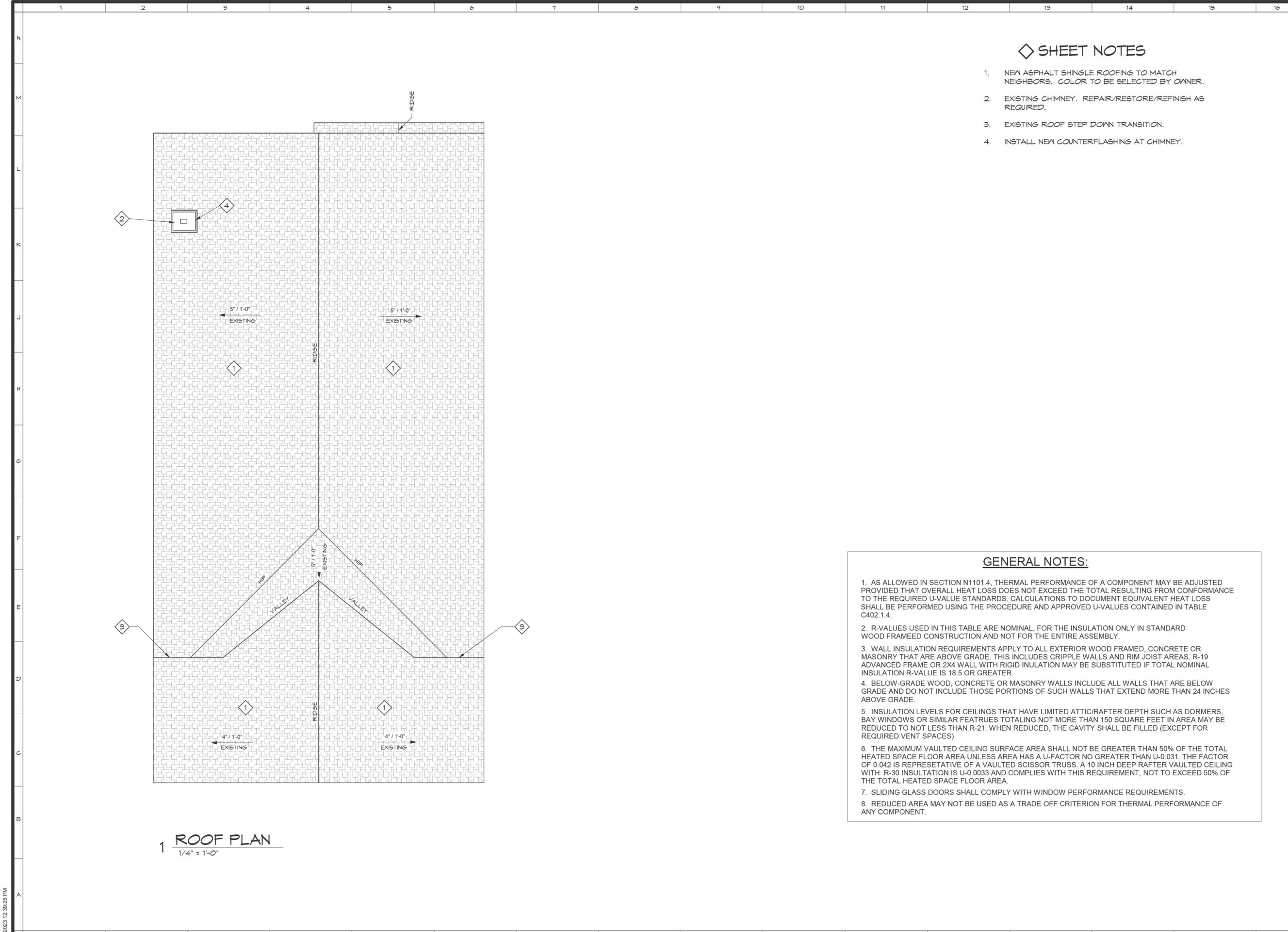
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**HALLWAYS:**  
HALLWAYS OF 10 FEET OR MORE IN LENGTH SHALL HAVE AT LEAST ONE RECEPTACLE OUTLET.

**HVAC OUTLET:**  
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**1 REFLECTED CEILING PLAN**  
1/4" = 1'-0"



1 ROOF PLAN  
1/4" = 1'-0"

◇ SHEET NOTES

1. NEW ASPHALT SHINGLE ROOFING TO MATCH NEIGHBORS. COLOR TO BE SELECTED BY OWNER.
2. EXISTING CHIMNEY. REPAIR/RESTORE/REFINISH AS REQUIRED.
3. EXISTING ROOF STEP DOWN TRANSITION.
4. INSTALL NEW COUNTERFLASHING AT CHIMNEY.

GENERAL NOTES:

1. AS ALLOWED IN SECTION N1101.4, THERMAL PERFORMANCE OF A COMPONENT MAY BE ADJUSTED PROVIDED THAT OVERALL HEAT LOSS DOES NOT EXCEED THE TOTAL RESULTING FROM CONFORMANCE TO THE REQUIRED U-VALUE STANDARDS. CALCULATIONS TO DOCUMENT EQUIVALENT HEAT LOSS SHALL BE PERFORMED USING THE PROCEDURE AND APPROVED U-VALUES CONTAINED IN TABLE C402.1.4.
2. R-VALUES USED IN THIS TABLE ARE NOMINAL, FOR THE INSULATION ONLY IN STANDARD WOOD FRAMEED CONSTRUCTION AND NOT FOR THE ENTIRE ASSEMBLY.
3. WALL INSULATION REQUIREMENTS APPLY TO ALL EXTERIOR WOOD FRAMED, CONCRETE OR MASONRY THAT ARE ABOVE GRADE. THIS INCLUDES CRIPPLE WALLS AND RIM JOIST AREAS. R-19 ADVANCED FRAME OR 2X4 WALL WITH RIGID INULATION MAY BE SUBSTITUTED IF TOTAL NOMINAL INSULATION R-VALUE IS 18.5 OR GREATER.
4. BELOW-GRADE WOOD, CONCRETE OR MASONRY WALLS INCLUDE ALL WALLS THAT ARE BELOW GRADE AND DO NOT INCLUDE THOSE PORTIONS OF SUCH WALLS THAT EXTEND MORE THAN 24 INCHES ABOVE GRADE.
5. INSULATION LEVELS FOR CEILINGS THAT HAVE LIMITED ATTIC/RAFTER DEPTH SUCH AS DORMERS, BAY WINDOWS OR SIMILAR FEATRUES TOTALING NOT MORE THAN 150 SQUARE FEET IN AREA MAY BE REDUCED TO NOT LESS THAN R-21. WHEN REDUCED, THE CAVITY SHALL BE FILLED (EXCEPT FOR REQUIRED VENT SPACES)
6. THE MAXIMUM VAULTED CEILING SURFACE AREA SHALL NOT BE GREATER THAN 50% OF THE TOTAL HEATED SPACE FLOOR AREA UNLESS AREA HAS A U-FACTOR NO GREATER THAN U-0.031. THE FACTOR OF 0.042 IS REPRESENTATIVE OF A VAULTED SCISSOR TRUSS. A 10 INCH DEEP RAFTER VAULTED CEILING WITH R-30 INSULATION IS U-0.0033 AND COMPLIES WITH THIS REQUIREMENT, NOT TO EXCEED 50% OF THE TOTAL HEATED SPACE FLOOR AREA.
7. SLIDING GLASS DOORS SHALL COMPLY WITH WINDOW PERFORMANCE REQUIREMENTS.
8. REDUCED AREA MAY NOT BE USED AS A TRADE OFF CRITERION FOR THERMAL PERFORMANCE OF ANY COMPONENT.



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Checked By: JJC  
Job Number: 23-022

ROOF PLAN

No.	DATE	DESCRIPTION

Date: 06/06/23  
Drawing No:

**A4.0**



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**HISTORIC HOUSE REMODEL FOR  
FLORES RESIDENCE  
KING WILLIAM HISTORIC DISTRICT  
517 WICKES ST.  
SAN ANTONIO, TEXAS 78210**

Drawn By: MTM  
Checked By: JJC  
Job Number: 23-022

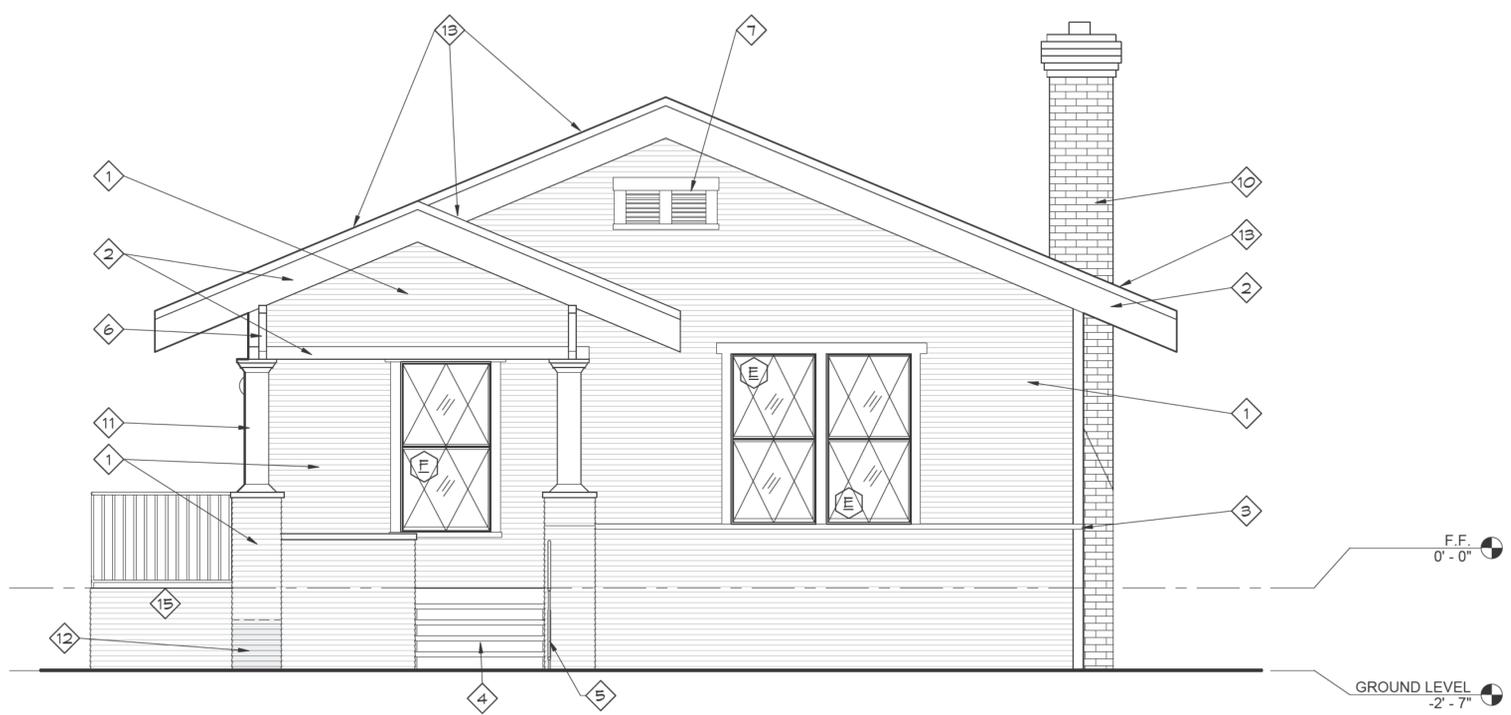
EXTERIOR ELEVATIONS		
No.	DATE	DESCRIPTION

Date: 06/06/23  
Drawing No:

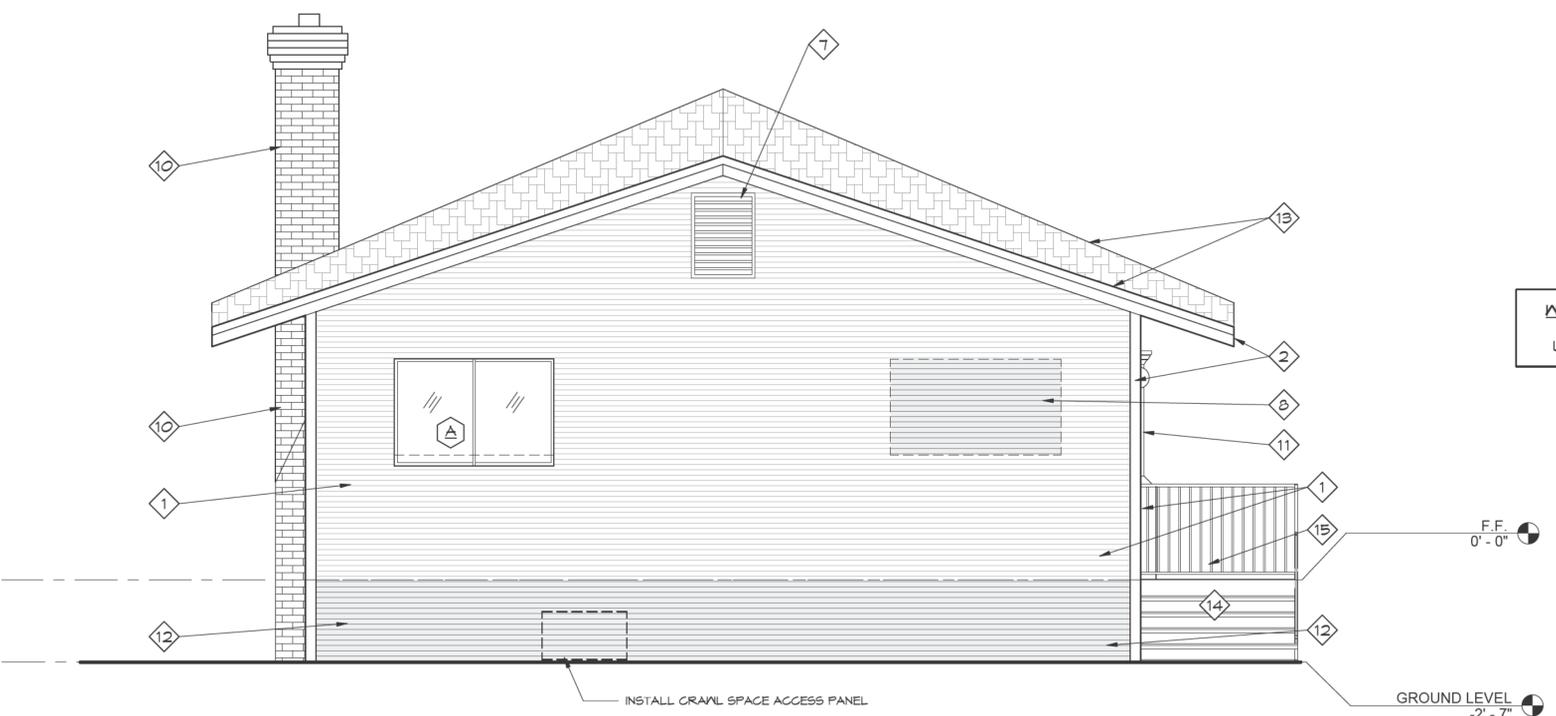
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**◇ SHEET NOTES**

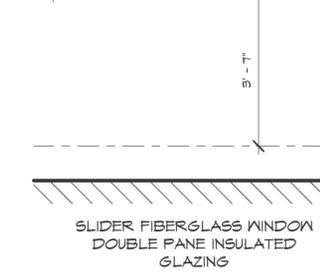
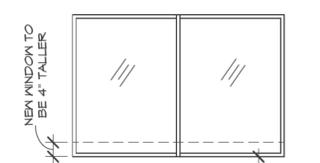
- EXISTING WOOD SIDING TO REMAIN. REPAINT TO APPROVED COLOR.
- EXISTING ACCENT TRIMS. REPAINT TO APPROVED COLOR.
- EXISTING WAINSCOT ACCENT TRIM. REPAINT.
- EXISTING STAIRS. CLEAN & REFINISH TO APPROVED COLOR.
- METAL RAIL. REPAINT.
- EXISTING DIAGONAL CORBLE. REPAINT.
- EXISTING LOUVER. REPAINT.
- PATCH EXTERIOR WALL TO MATCH EXISTING. PAINT TO MATCH WALL.
- 24" W X 12" H CRAWL SPACE LOUVER. PAINT TO MATCH SIDING.
- EXISTING MASONRY CHIMNEY TO REMAIN. REPAIR/RESTORE AS REQUIRED. REFINISH TO APPROVED COLOR.
- REPAINT EXISTING COLUMN TO APPROVED COLOR.
- INSTALL NEW SIDING TO MATCH EXISTING. PAINT TO MATCH ADJACENT WALL SIDING.
- NEW SHINGLE ROOFING TO MATCH NEIGHBORS. COLOR TO BE APPROVED BY OWNER.
- NEW STAIRS WITH CODE COMPLIANT RAILING.
- NEW RAMP WITH CODE COMPLIANT RAILING. SLOPE NOT TO EXCEED 8%.
- EXISTING ROOF STEPDOWN.



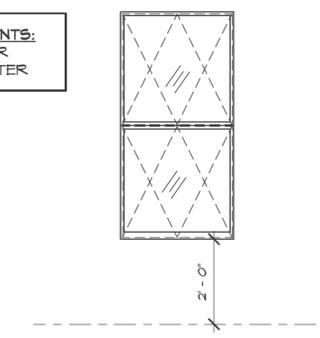
**1 NORTH EXTERIOR ELEVATION**  
3/8" = 1'-0"



**2 SOUTH EXTERIOR ELEVATION**  
3/8" = 1'-0"



**A**



**E**

**PENETRATION NOTES:**

- ALL WINDOWS SHALL COMPLY WITH ALL STATE AND LOCAL CODES INCLUDING BUT NOT LIMITED TO I.E.G.G. ENERGY EFFICIENCY, DESIGN PRESSURE, AND HISTORICAL REQUIREMENT.
  - SHGC: 0.25 OR BETTER
  - U-FACTOR: 0.35 OR BETTER
- WINDOWS SHALL BE ALUMINUM CLAD WOOD WINDOWS THAT COMPLY WITH THE FOLLOWING SPECIFICATIONS:
  - MEETING RAILS MUST BE NO TALLER THAN 1.25"
  - STILES SHALL BE NO WIDER THAN 2.25"
  - TWO INCHES IN DEPTH IS REQUIRED BETWEEN FRONT FACE OF THE WINDOW TRIM AND THE FRONT FACE OF THE TOP WINDOW SASH.
  - WINDOW TRACK COMPONENTS MUST BE PAINTED TO MATCH THE WINDOW TRIM OR CONCEALED BY A WINDOW SCREEN.
  - COLOR SELECTION MUST BE PRESENTED TO OHP STAFF; MANUFACTURER'S WHITE IS NOT PERMITTED.
  - WINDOW TRIMS SHALL FEATURE TRADITIONAL DIMENSIONS CONSISTENT WITHIN THE HISTORIC DISTRICT.
- EACH BEDROOM SHALL HAVE A MINIMUM WINDOW OPENING OF 5.7 SQ. FT. WITH A MINIMUM WIDTH OF 20" AND A MINIMUM HEIGHT OF 24" AND A SILL LESS THAN 44" ABOVE THE FINISHED FLOOR.
- ALL WINDOWS WITHIN 10' OF THE FLOOR AND WITHIN 24" OF ANY DOOR ARE TO HAVE TEMPERED GLAZING.

**WINDOW IECC REQUIREMENTS:**  
SHGC: 0.25 OR BETTER  
U-FACTOR: 0.30 OR BETTER



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Drawn By: MTM  
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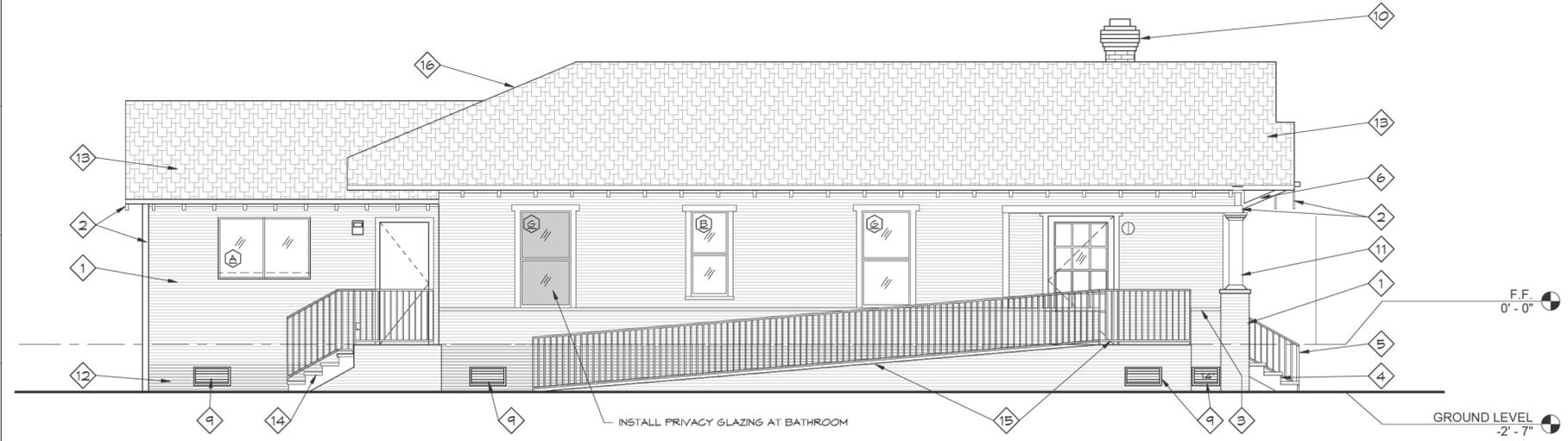
EXTERIOR ELEVATIONS		
No.	DATE	DESCRIPTION

Date: 06/06/23  
Drawing No:

**A5.1**

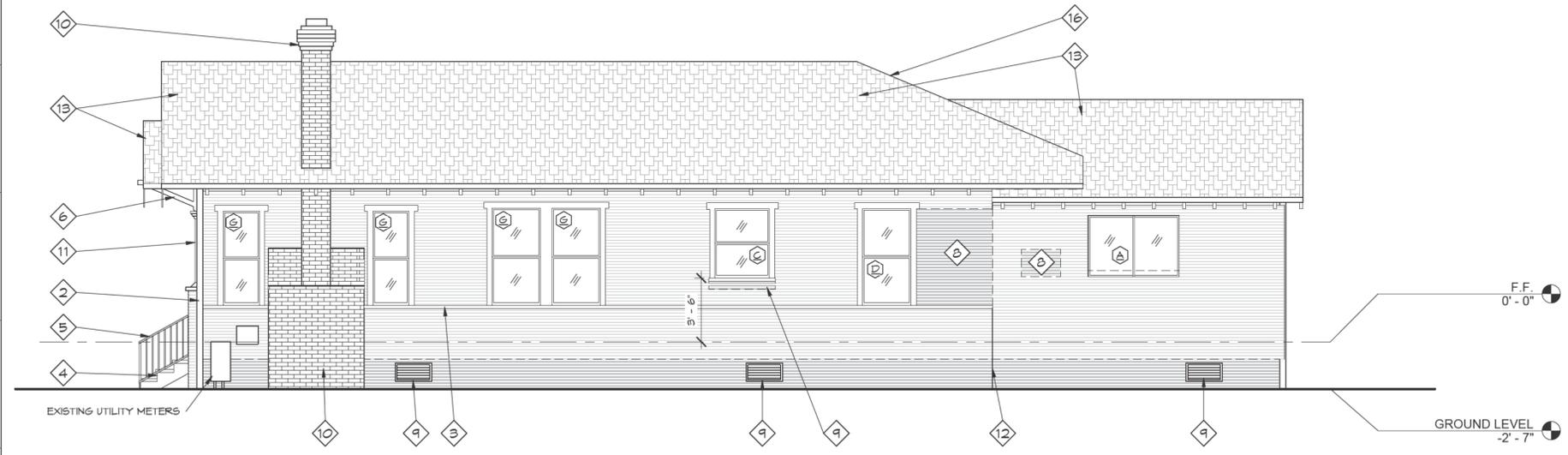
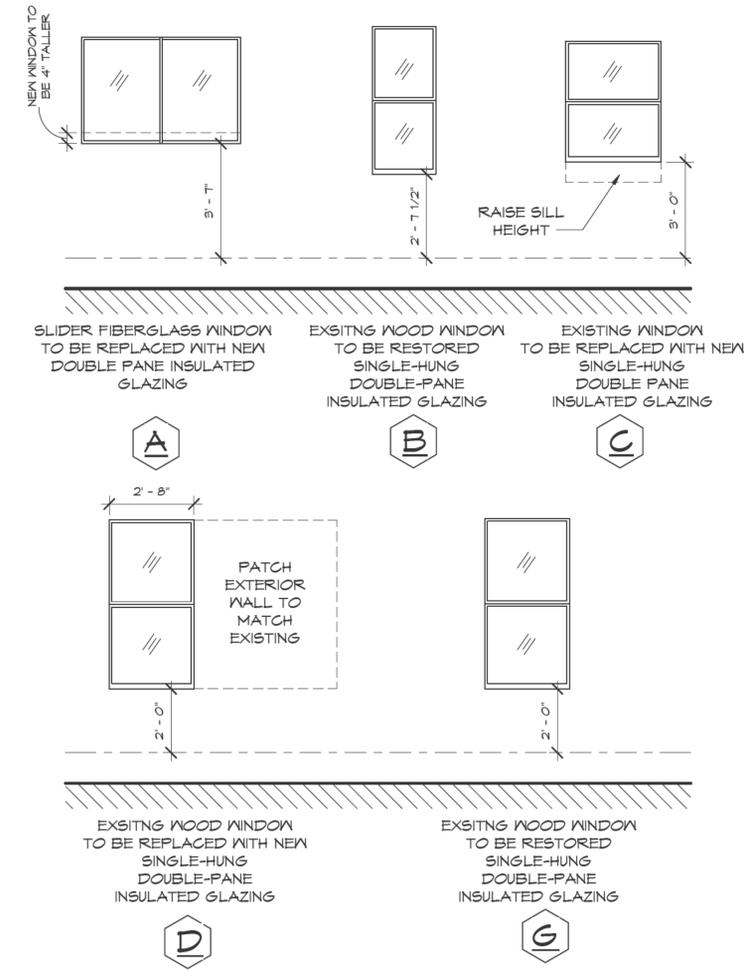
**SHEET NOTES**

- EXISTING WOOD SIDING TO REMAIN. REPAINT TO APPROVED COLOR.
- EXISTING ACCENT TRIMS. REPAINT TO APPROVED COLOR.
- EXISTING MAINSCOT ACCENT TRIM. REPAINT.
- EXISTING STAIRS. CLEAN & REFINISH TO APPROVED COLOR.
- METAL RAIL. REPAINT.
- EXISTING DIAGONAL CORBLE. REPAINT.
- EXISTING LOUVER. REPAINT.
- PATCH EXTERIOR WALL TO MATCH EXISTING. PAINT TO MATCH WALL.
- 24" W X 12" H CRAWL SPACE LOUVER. PAINT TO MATCH SIDING.
- EXISTING MASONRY CHIMNEY TO REMAIN. REPAIR/RESTORE AS REQUIRED. REFINISH TO APPROVED COLOR.
- REPAINT EXISTING COLUMN TO APPROVED COLOR.
- INSTALL NEW SIDING TO MATCH EXISTING. PAINT TO MATCH ADJACENT WALL SIDING.
- NEW SHINGLE ROOFING TO MATCH NEIGHBORS. COLOR TO BE APPROVED BY OWNER.
- NEW STAIRS WITH CODE COMPLIANT RAILING.
- NEW RAMP WITH CODE COMPLIANT RAILING. SLOPE NOT TO EXCEED 8%.
- EXISTING ROOF STEPDOWN.



**1 EAST EXTERIOR ELEVATION**  
1/4" = 1'-0"

**WINDOW IECC REQUIREMENTS:**  
SHGC: 0.25 OR BETTER  
U-FACTOR: 0.30 OR BETTER



**2 WEST EXTERIOR ELEVATION**  
1/4" = 1'-0"



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INTERIOR ELEVATIONS

No.	DATE	DESCRIPTION

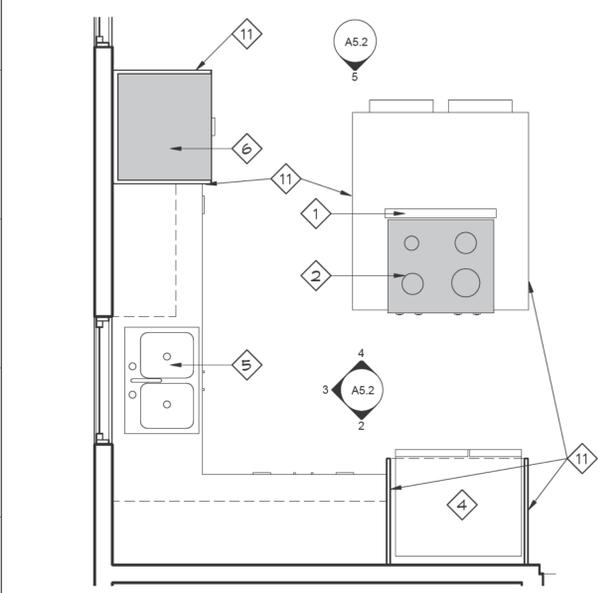
Date: 06/06/23

Drawing No:

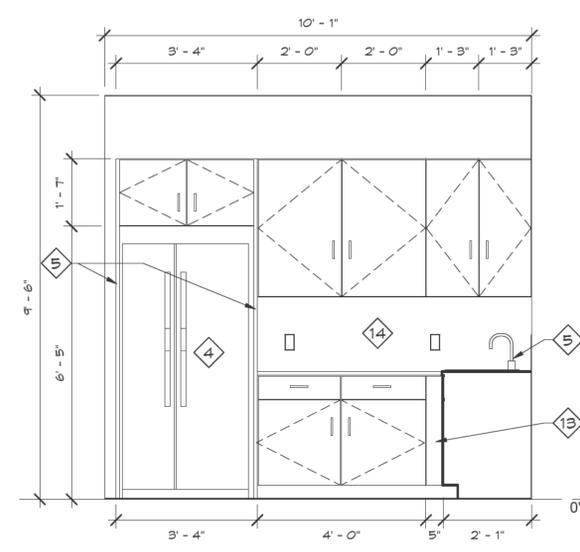
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**SHEET NOTES**

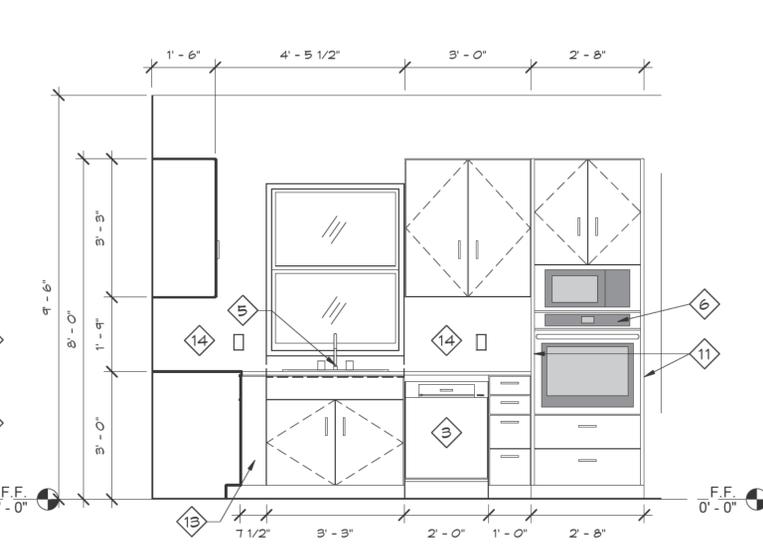
- KITCHEN ISLAND RANGE HOOD VENT.
- 30" RANGE STOVE.
- 24" DISHWASHER.
- 36" REFRIGERATOR.
- PLUMBING FIXTURE AS SELECTED BY OWNER.
- 30" MICROWAVE COMBINATION WALL OVEN.
- BACKSPLASH TO BE SELECTED BY OWNER.
- WATERFALL FINISHED EDGE AT KITCHEN ISLAND.
- CUSTOM CABINETS BY CABINET PROVIDER.
- MIRROR AS SELECTED BY OWNER.
- FINISHED END PANEL.
- SHOWER ENCLOSURE WITH SAFETY GLAZING.
- LAZY SUSAN CORNER CABINETRY.
- TILE BACKSPLASH AS SELECTED BY OWNER.



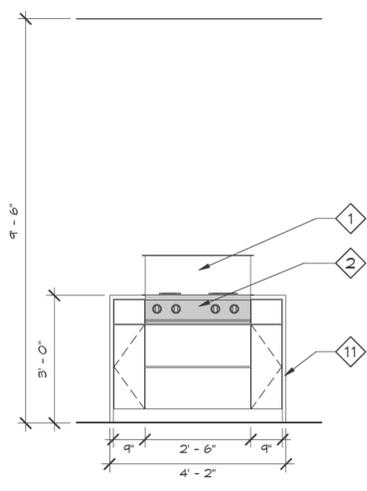
**1 ENLARGED KITCHEN FLOOR PLAN**  
1/2" = 1'-0"



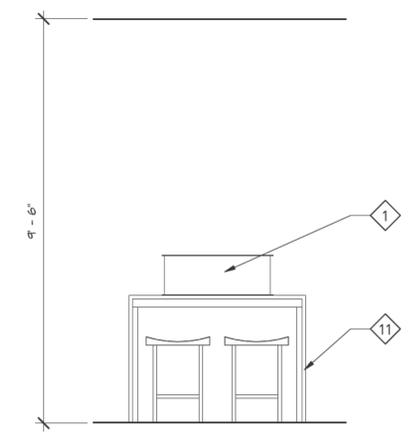
**2 INTERIOR ELEVATION**  
1/2" = 1'-0"



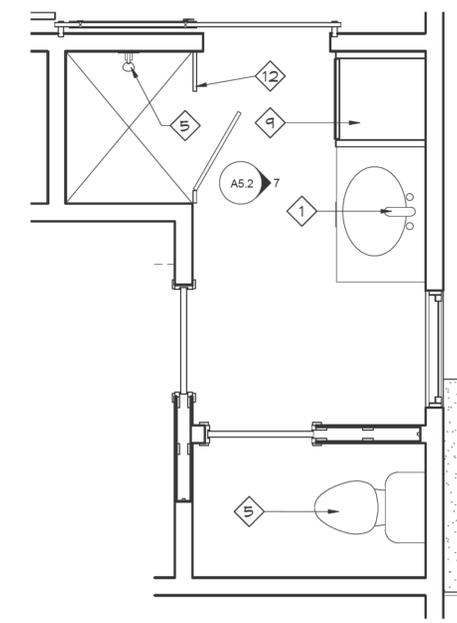
**3 INTERIOR ELEVATION**  
1/2" = 1'-0"



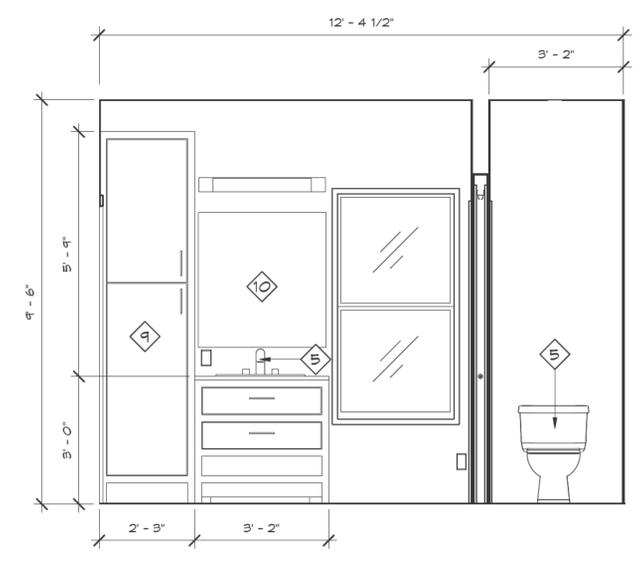
**4 INTERIOR ELEVATION**  
1/2" = 1'-0"



**5 INTERIOR ELEVATION**  
1/2" = 1'-0"



**6 ENLARGED BATHROOM PLAN**  
1/2" = 1'-0"



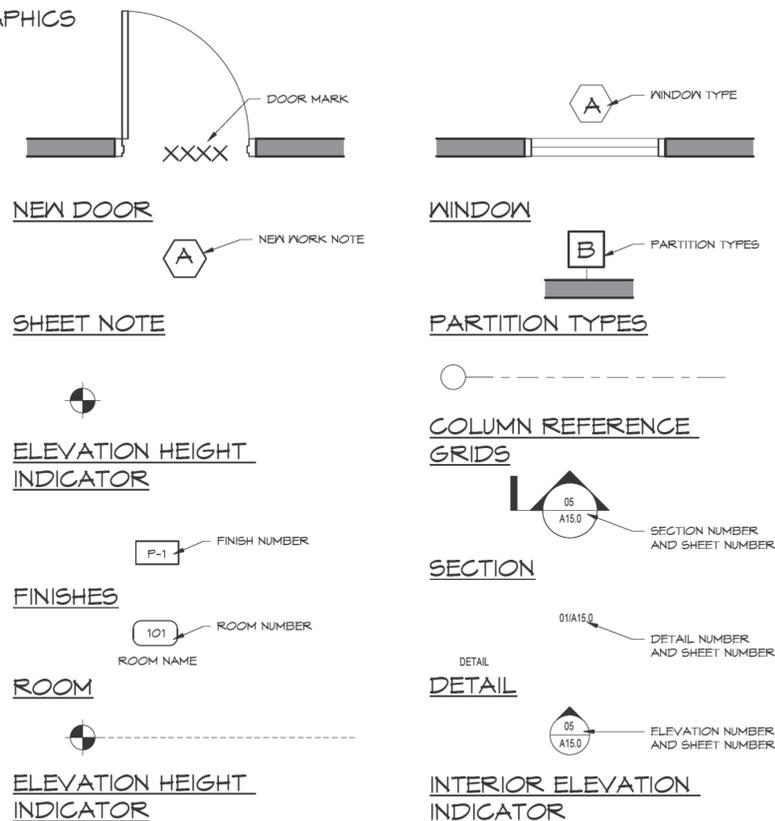
**7 INTERIOR ELEVATION**  
1/2" = 1'-0"



## CONSTRUCTION MATERIALS GENERAL NOTES:

1. ALL DIMENSION ARE TO THE FACE OF WOOD STUDS, FACE OF C.M.U., EXTERIOR WALL FACES OR COLUMN CENTER LINES UNLESS SPECIFIED OTHERWISE.
2. PROVIDE SOLID WOOD BLOCKING AT ALL DRYWALLS BEHIND PLUMBING FIXTURES, ACCESS DOORS, HANDRAILS, GRAB BARS, WOOD SHELVING, LAVATORIES, CABINTRY, ETC. AS REQUIRED TO RIGIDLY ANCHOR EACH ITEM. CONTRACTOR SHALL VERIFY & COORDINATE BLOCKING.
3. INCREASE WALL THICKNESS AS REQUIRED AT PLUMBING CHASES, MECHANICAL & ELECTRICAL PANELS.
4. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS. CONTRACTOR TO NOTIFY ENGINEER OF RECORD IMMEDIATELY IF SITE CONDITIONS OR DIMENSIONS DISAGREE WITH INFORMATION SHOWN ON THE DRAWINGS. WORK IS NOT PROCEED UNTIL SUCH DIFFERENCES ARE RESOLVED. ALL DIMENSION ARE BASED UPON EXISTING CONDITIONS, SOME MINOR VARIATIONS ARE TO BE EXPECTED. THE CONTRACTOR SHALL LAY OUT ALL NEW CONSTRUCTION TO COORDINATE THESE DRAWINGS WITH ACTUAL CONDITIONS.
5. CONTINUE WALL TYPE AND FINISHES ABOVE ALL DOORS AND WINDOWS.
6. ALL FOAM PLASTICS USED IN BUILDING CONSTRUCTION SHALL HAVE A FLAME SPREAD RATING OF NOT MORE THAN 75 AND SHALL HAVE A SMOKE DEVELOPED RATING OF NOT MORE THAN 450 WHEN TESTED IN THE MAXIMUM THICKNESS INTENDED FOR USE IN ACCORDANCE WITH U.B.C. STANDARD #42-1.  
NOTE: OR IN ADDITION TO ANY OTHER APPLICABLE PROVISIONS IN GOVERNING CODES.
7. ALL WOOD BLOCKING AND PLYWOOD USED INSIDE THE BUILDING SHALL BE PRESSURE-TREATED FIRE RETARDANT WOOD. ALL WOOD BLOCKING OUTSIDE THE BUILDING ENVELOPE SHALL BE MOLMANIZED. PROVIDE FIRE-RETARDANT TREATED WOOD BLOCKING WHERE REQUIRED TO SUPPORT ANY ITEMS MOUNTED TO WALLS, INCLUDING SINKS, CASEWORK, AND HAND RAILS.
8. SIGNS LOCATIONS SHALL BE VERIFIED WITH THE BUILDING INSPECTOR DURING CONSTRUCTION AND WITH BUILDING CODE.
9. DOOR REMARKS:
  - A. CAULK BOTH SIDES OF ALL DOOR FRAMES AND GLASS FRAMES, WINDOWS AND LOUVERS.
  - B. COORDINATE DOOR DETAILS, WALLTYPES, AND WALL FINISHES FOR JAMB THICKNESS AND WALL MATERIALS.
10. SEAL ALL OPENINGS THROUGH WALLS OF MECHANICAL ROOMS AND EXIT CORRIDORS INCLUDING BOTH SIDES OF COLUMNS, UNDER DECK CORRUGATIONS, PIPE CHASES, ETC.
11. BUILDING INSULATION NOTE:  
ALL INSULATION MATERIALS INCLUDING FACINGS, SUCH AS VAPOR BARRIERS OR BREATHER PAPERS INSTALLED WITHIN FLOOR-CEILING ASSEMBLIES, ROOF-CEILING ASSEMBLIES, WALLS, CRAWLS PACES, OR ATTICS SHALL HAVE A FLAME-SPREAD RATING NOT TO EXCEED 25 AND A SMOKE DENSITY NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH U.B.C. STANDARD #42-2. ALL FOAM INSULATION SHALL BE SEPARATED FROM THE INTERIOR OCCUPIED SPACE WITH A 15-MINUTE THERMAL BARRIER.
12. MAKE ALLOWANCE FOR HORIZONTAL AND VERTICAL MOVEMENT WHEREVER INTERIOR PARTITIONS COME IN CONTACT WITH EXTERIOR WALLS OR STRUCTURAL COLUMNS.
13. ALL MATERIALS SHALL BE INSTALLED PER MANUFACTURE'S INSTRUCTIONS.

## GRAPHICS



## GENERAL NOTES:

1. IN THE EVENT OF DISCREPANCIES BETWEEN THE DRAWINGS AND SPECIFICATIONS IN THIS PACKAGE, NOTIFY ARCHITECT OF RECORD IMMEDIATELY.
2. ARCHITECT OF RECORD SHALL NOT BE RESPONSIBLE OR HAVE CONTROL OR CHARGE OVER THE ACTS OR OMISSIONS, CONSTRUCTION MEANS, METHODS, TECHNOLOGIES, SEQUENCES, PROCEDURES, OR FOR THE SAFETY PRECAUTIONS AND PROGRAMS OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING WORK UNDER THIS CONTRACT.
3. CONTRACTOR IS RESPONSIBLE TO SEE THAT ALL WORK IN FIELD IS DONE IN ACCORDANCE W/ ALL CURRENT APPLICABLE NATIONAL STATE AND LOCAL CODES, ORDINANCES AND REQUIREMENTS BY GOVERNING AGENCIES, WHETHER OR NOT SAID CODES ORDINANCES, REQUIREMENTS, ETC. ARE SPECIFICALLY SHOWN ON DRAWINGS AND/OR CALLED FOR IN SPECIFICATIONS.
4. CONSTRUCTION MATERIAL, ASSEMBLIES AND PROCEDURES ARE TO COMPLY W/ LOCALLY ADOPTED BUILDING CODES AND SUPPLEMENTARY ORDINANCES. WHEN A CONFLICT OCCURS BETWEEN SUCH LOCAL CODE AND INFORMATION SHOWN ON THE PLANS, CONSULT COMPANY REPRESENTATIVE OR ARCHITECT FOR RESOLUTION PRIOR TO COMMENCING WORK.
5. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING JURISDICTIONS AS REQUIRED FOR INSPECTIONS AND SHALL PAY INSPECTION FEES ASSOCIATED WITH THE WORK.
6. THE G.C. SHALL APPLY FOR ALL PERMITS WHICH INVOLVE DRAWING SUBMITTAL AND PROCESSING: BUILDING, ELECTRICAL, MECHANICAL, PLUMBING, FIRE, AND ENVIRONMENTAL HEALTH PERMITS. THE GENERAL CONTRACTOR SHALL PICK UP THESE PERMITS AND PAY FOR THE PERMIT FEES.
7. THE GENERAL CONTRACTOR SHALL PROVIDE BARRICADES AND SAFETY SIGNS PER OSHA REQUIREMENTS, AND CONTROLS OF ALL NEW AND MODIFIED AIR, WATER, AND ELECTRICAL SYSTEMS.
8. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OVERALL CONSTRUCTION SITE CLEANLINESS, INCLUDING PROVISION OF A DEBRIS BOX WITH WEEKLY SERVICING, REMOVAL OF ALL CONTRACTOR / SUBCONTRACTOR REFUSE AND DEBRIS, AND SWEEPING OF THE ENTIRE YARD AREA AT THE COMPLETION OF THE WORK. UNLESS STATED OTHERWISE, ALL OTHER PROCEDURES, TESTING, MATERIALS AND EQUIPMENT SHOWN ON THE PLANS SHALL BE FURNISHED AND INSTALLED BY THE GENERAL CONTRACTOR.
10. DRAWINGS SHALL NOT BE SCALED. N.T.S. INDICATES "NOT TO SCALE" AND THE LISTED DIMENSION SHALL GOVERN.
11. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF DAMAGE TO THE WORK OF OTHER TRADES CAUSED BY HIS OPERATIONS. THE NATURE OF SUCH REPAIR WORK MUST RECEIVE THE PRIOR APPROVAL OF THE COMPANY REPRESENTATIVE.
12. CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS AND FACILITIES TO REMAIN THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL REPAIR AND/OR REPLACE AT CONTRACTOR'S EXPENSE, ANY EXISTING ITEMS AND FACILITIES TO REMAIN THAT ARE DAMAGED BY CONTRACTORS OPERATIONS TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
13. ANY CHANGES IN PLAN ARRANGEMENT OR DETAILING AND SPECIFIC INSTRUCTIONS FOR THE PROJECT WITHOUT PRIOR WRITTEN NOTIFICATION AND APPROVAL BY THE ENGINEER OF RECORD WILL VOID ANY OBLIGATIONS AND LIABILITIES SET FORTH BY THE OWNER AND THE ENGINEER OF RECORD.
14. IF ANY SUBSTITUTIONS ARE PROPOSED AND APPROVED FOR SPECIFIC MATERIAL OR EQUIPMENT, THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS WILL BE RESPONSIBLE FOR ALL COORDINATION INCLUDING HVAC, PLUMBING, ALTERNATIVE MATERIALS, AND ELECTRICAL.
15. ANY CONTRACTOR WHOSE WORK REQUIRES PENETRATION OF THE ROOFING SYSTEM SHALL COORDINATE W/ ROOFING CONTRACTOR TO INSURE ROOF WARRANTY.
16. CONSTRUCTION SHALL COMPLY TO ALL LOCAL CODE REQUIREMENTS AND GUIDELINES FOR BUILDING AND FACILITIES PER CURRENT CLEARANCES, ACCESSORIES, ETC.
17. ANY CONTRACTOR WHOSE WORK REQUIRES PENETRATION OR ATTACHMENT TO THE EXTERIOR FACADE SHALL FLASH, AND SEAL SUCH WORK TO INSURE WALL SYSTEM WARRANTY. ALL THRU-WALL PENETRATIONS THROUGH ICF WALL SHALL BE AGUAFLEASHED.
18. DOOR HARDWARE HANDLES, KNOBS, PULLS, LATCHES, LOCKS, AND OTHER OPERATING DEVICES SHALL ME MOUNTED NO HIGHER THAN 38 INCHES ABOVE FINISH FLOOR AND HAVE HANDICAPPED ACCESSIBLE LEVER HANDLE HARDWARE, UNLESS OTHERWISE NOTED. THE FORCE REQUIRED TO ACTIVATE DOOR HARDWARE SHALL BE NO GREATER THAN 5.0 LB. OTHER ALLOWABLE HARDWARE DESIGNS INCLUDE BUT ARE NOT LIMITED TO PUSH-TYPE MECHANISMS, AND U-SHAPED HANDLES. INSTALL THESE ONLY WHEN SCHEDULED. WHEN SLIDING DOORS ARE FULLY OPEN, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES.
19. DOOR CLOSURES: IF A DOOR IS SCHEDULED TO HAVE A CLOSER, THE SWEEP PERIOD OF THE CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 70 DEGREES, THE DOOR WILL TAKE AT LEAST THREE SECONDS TO MOVE TO A POINT OF APPROXIMATELY 3" FROM THE LATCH, MEASURED TO THE LEADING EDGE OF THE DOOR.
20. DOOR OPENING FORCE: THE MAXIMUM FORCE FOR PUSHING, OR PULLING OPEN A DOOR SHALL COMPLY WITH THIS PARAGRAPH. FOR HINGED DOORS: THE FORCE SHALL BE APPLIED PERPENDICULAR TO THE DOOR AT THE DOOR OR 30 INCHES FROM THE HINGED SIDE. WHICHEVER IS FARTHER FROM THE HINGE. FOR SLIDING OR FOLDING DOORS: THE FORCE SHALL BE APPLIED PARALLEL TO THE DOOR AT THE DOOR PULL OR LATCH.
  - A. EXTERIOR HINGED DOORS SHALL NOT EXCEED 8.5 LBF. LIGHT INCREASES IN OPENING FORCE SHALL BE ALLOWED WHERE 8.5 LBS IS INSUFFICIENT TO COMPENSATE FOR AIR PRESSURE DIFFERENTIALS.
  - B. OPERATION, CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 8.0 LBF.
21. CONTROLS AND OPERATING MECHANISMS.
  - A. GENERAL ALL CONTROLS AND DEVICES HAVING MECHANICAL OR ELECTRICAL OPERATING MECHANISMS WHICH ARE EXPECTED TO BE OPERATED BY OCCUPANTS, VISITORS, OR OTHER USERS OF A BUILDING OR FACILITY, SHALL COMPLY WITH TEXAS DEPARTMENT OF LICENSING AND REGULATIONS (TDLR) FOR HEIGHT LIGHT SWITCHES, ALARM ACTIVATING UNITS, VENTILATORS ELECTRICAL OUTLETS, ETC.
  - B. OPERATION, CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 8.0 LBF.
22. PROVIDE WOOD BLOCKING AT ALL SCHEDULED CABINTRY, WALL SHELVING, PLUMBING, FIXTURES, ACCESS DOORS, HANDRAILS AND GRAB BARS, ALL WOOD BLOCKING AND FURRING TO BE FIRE RETARDANT.
23. CONTRACTOR SHALL REFER TO ELECTRICAL DRAWINGS IN THESE DOCUMENTS FOR ALL WIRING AND CONNECTION SPECIFICATIONS, CIRCUITING, SWITCHING AND LIGHT FIXTURES.
24. REFER TO MECHANICAL DRAWINGS IN THESE DOCUMENTS FOR ALL INFORMATION REFERENCING DUCTWORK, DIFFUSER LOCATIONS, THERMOSTAT LOCATIONS, FIRE DAMPERS, ETC. OR ANY OTHER ITEMS MECHANICALLY RELATED.
25. CONTRACTOR SHALL COMPLY WITH ALL INTERNATIONAL ENERGY CONSERVATION CODE REQUIREMENTS AND PROVIDE ALL RELATED 3rd PARTY TESTING, DOCUMENTATION, FORMS AS REQUIRED FOR RESIDENTIAL ENERGY COMPLIANCE. HARD COPIES OF ALL DOCUMENTATION WILL BE PROVIDED TO ARCHITECT AND OWNER FOR REVIEW.



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**FLORES KING  
WILLIAM RESIDENCE**  
517 WICHES ST.  
SAN ANTONIO, TEXAS 78210

Drawn By:	MTM
Checked By:	JJC
Job Number:	23-022

CONSTRUCTION NOTES		
No.	DATE	DESCRIPTION

Date: 06/06/23  
Drawing No: **A6.0**



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HANDICAP DETAILS

No.	DATE	DESCRIPTION

Date: 06/06/23  
Drawing No:

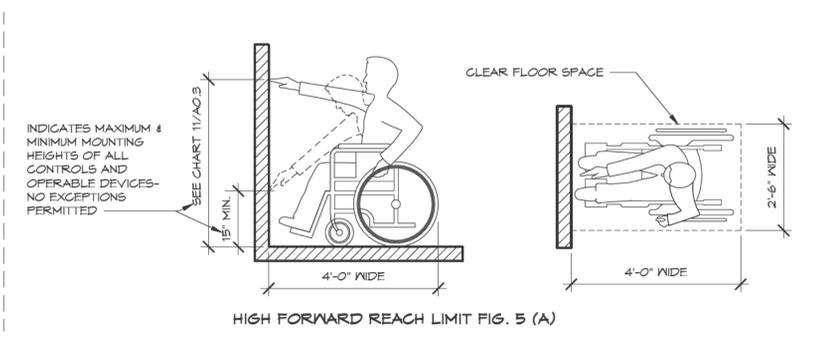
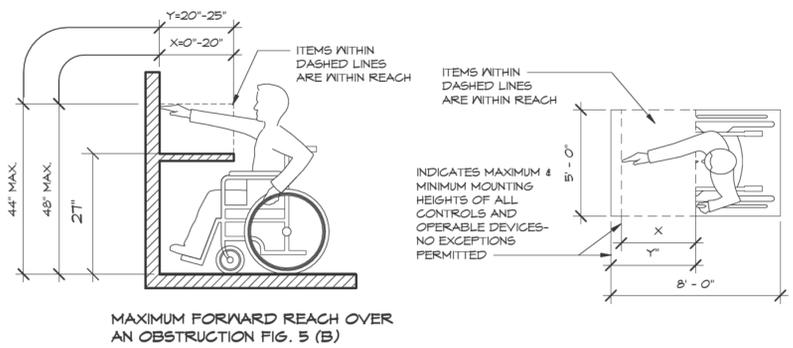
HA-1

# AGING-IN-PLACE GUIDELINES

## SPACE ALLOWANCES & REACH RANGES

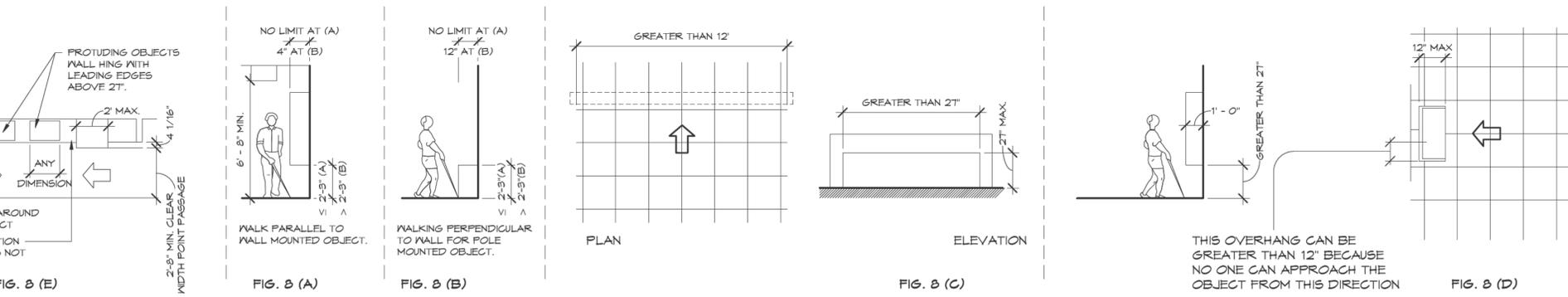
**FORWARD APPROACH**  
WHERE A FORWARD REACH IS UNOBSTRUCTED, THE HIGH FORWARD REACH SHALL BE 48 INCHES (1220 MM) MAXIMUM AND THE LOW FORWARD REACH SHALL BE 15 INCHES (380 MM) MINIMUM ABOVE THE FINISH FLOOR OR GROUND. WHERE A HIGH FORWARD REACH IS OVER AN OBSTRUCTION, THE CLEAR FLOOR SPACE SHALL EXTEND BENEATH THE ELEMENT FOR A DISTANCE NOT LESS THAN THE REQUIRED REACH DEPTH OVER THE OBSTRUCTION.

**PARALLEL APPROACH**  
WHERE A CLEAR FLOOR OR GROUND SPACE ALLOWS A PARALLEL APPROACH TO AN ELEMENT AND THE SIDE REACH IS UNOBSTRUCTED, THE HIGH SIDE REACH SHALL BE 48 INCHES (1220 MM) MAXIMUM AND THE LOW SIDE REACH SHALL BE 15 INCHES (380 MM) MINIMUM ABOVE THE FINISH FLOOR OR GROUND. AN OBSTRUCTION SHALL BE PERMITTED BETWEEN THE CLEAR FLOOR OR GROUND SPACE AND THE ELEMENT WHERE THE DEPTH OF THE OBSTRUCTION IS 10 INCHES (255 MM) MAXIMUM.



## PROTRUDING OBJECTS

**GENERAL**  
OBJECTS PROJECTING FROM WALLS (FOR EXAMPLE TELEPHONES) WITH THEIR LEADING EDGES BETWEEN 27" MIN. AND 80" MAX. ABOVE THE FINISHED FLOOR SHALL PROTRUDE NO MORE THAN 4" INTO WALKS, HALLS, CORRIDORS, PASSAGEWAYS OR AISLES. SEE FIG. 8 (A). OBJECTS JOINED WITH THEIR LEADING EDGES AT OR BELOW 27 IN. ABOVE THE FINISHED FLOOR MAY PROTRUDE ANY AMOUNT SEE FIG. 8 (A), (B). FREE-STANDING OBJECTS MOUNTED ON POSTS OR PYLONS MAY OVERHANG 12 IN. MAXIMUM FROM 27 IN. TO 80 IN. ABOVE THE GROUND FLOOR SEE FIG. 8 (C), (D). PROTRUDING OBJECTS SHALL NOT REDUCE THE CLEAR WIDTH OF AN ACCESSIBLE ROUTE OR MANEUVERING SPACE. SEE FIG. 8 (E).

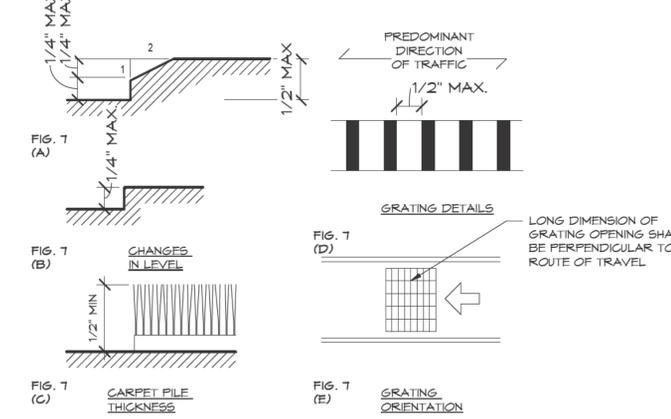


## GROUND & FLOOR SURFACES

**CHANGES IN LEVEL**  
CHANGES IN LEVEL UP TO 1/4" MAY BE VERTICAL AND WITHOUT EDGE TREATMENT (SEE FIG. 7 (B)). CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2 SEE FIG. 7 (A).

**CARPET**  
IF CARPET OR CARPET TILE IS USED ON A GROUND OR FLOOR SURFACE, THEN IT SHALL BE SECURELY ATTACHED, HAVE A FIRM CUSHION PAD, OR BACKING, OR NO CUSHION OR PAD, AND HAVE A LEVEL LOOP, TEXTURED LOOP, LEVEL CUT PILE, OR LEVEL CUT/UN CUT PILE TEXTURE. THE MAXIMUM PILE THICKNESS SHALL BE 1/2" IN. SEE FIG. 8 (D) EXPOSED EDGES OF CARPET SHALL BE FASTENED TO FLOOR SURFACES AND HAVE TRIM ALONG THE ENTIRE LENGTH OF THE EXPOSED EDGE.

**GRATINGS**  
IF GRATINGS ARE LOCATED IN WALKING SURFACES OR ALONG ACCESSIBLE ROUTES, THEN THEY HAVE SHALL HAVE SPACED NO GREATER THAN 1/2" WIDE IN ONE DIRECTION. SEE FIG. 8 (D). IF GRATINGS HAVE ELONGATED OPENINGS, THEN THEY SHALL BE PLACED SO THAT THE LONG DIRECTION IS PERPENDICULAR TO THE DOMINANT DIRECTION OF TRAVEL. SEE FIG. 8 (E).



## DOORS

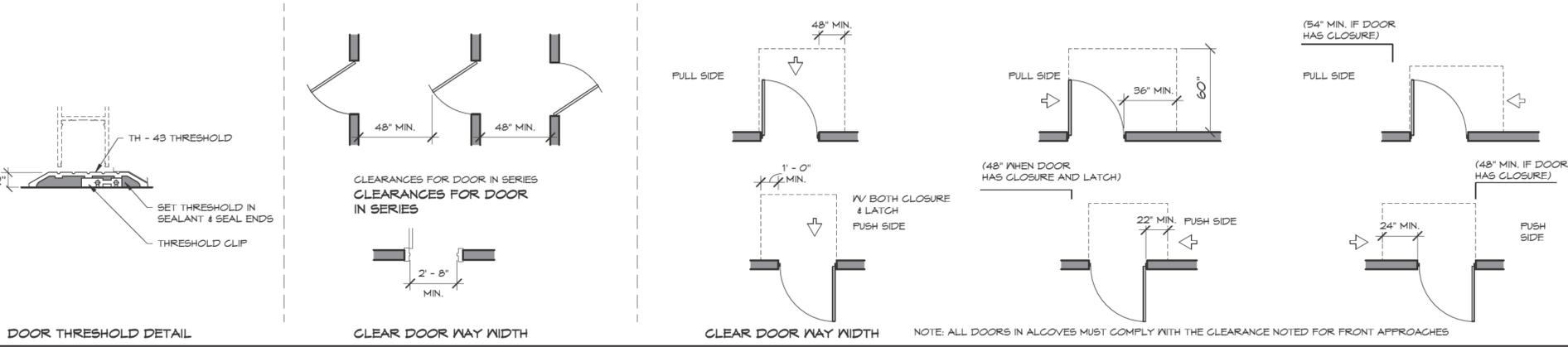
**THRESHOLDS AT DOORWAYS**  
THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 3/4" IN HEIGHT FOR EXTERIOR SLIDING DOORS OR 1/2" FOR OTHER TYPES OF DOORS. RAISED THRESHOLDS AND FLOOR LEVELS CHANGES AT ACCESSIBLE DOORWAYS SHALL BE LEVELED WITH A SLOPE NO GREATER THAN 1:2.

**DOOR HARDWARE**  
HANDLES, PULLS, LATCHES, LOCKS, AND OTHERS OPERATING DEVICES ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE. LEVER-OPERATED MECHANISMS, PUSH-TYPE MECHANISMS AND U-SHAPED HANDLE ARE ACCEPTABLE DESIGNS. WHEN SLIDING DOORS ARE FULLY OPEN, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES. HARDWARE REQUIRED FOR ACCESSIBLE DOOR PASSAGE SHALL BE MOUNTED ON HIGHER THAN 48" (1220MM) ABOVE FINISHED FLOOR.

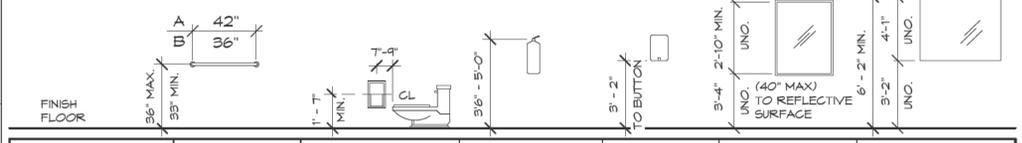
**DOOR CLOSERS**  
IF A DOOR HAS A CLOSER THEN THE SWEEP PERIOD OF THE CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION OF 12 DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM.

**DOOR OPENING FORCE**  
THE MAX. FORCE FOR PUSHING OR PULLING OPEN A DOOR SHALL BE AS FOLLOWS:  
(1) FIRE DOORS SHALL HAVE THE MINIMUM OPENING FORCE ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY.  
(2) OTHER DOORS  
(A) EXTERIOR HINGED DOORS: (RESERVED)  
(B) INTERIOR HINGED DOORS: 5 LBF (22.2N)  
(C) SLIDING OR FOLDING DOORS: 5 LBF (22.2N)

THESE FORCES DO NOT APPLY TO THE FORCE REQUIRED TO RETRACT LATCH BOLTS OR DISENGAGE OTHER DEVICES THAT HOLD THE DOOR IN A CLOSED POSITION.



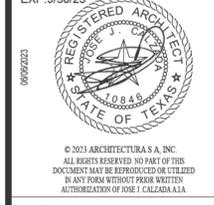
NOTE: SOAP DISPENSER, PAPER TOWEL DISPENSER, TOILET TISSUE DISPENSER, SANITARY NAPKIN DISPENSER, TOILET COVER PAPER DISPENSER MODELS TO BE COORDINATED WITH OWNER



ACCESSORY SPECIFICATION NO.	GRAB BAR	SURFACE MOUNTED TOILET TISSUE DISPENSER	FIRE EXTINGUISHER	SURFACE MOUNT SOAP DISPENSER	FRAMED MIRROR	UNFRAMED MIRROR
	(TA - 1B) (TA - 1A)	(TA - 2)	(TA - 3)	(TA - 4)	(TA - 5)	(TA - 6)

## GENERAL NOTES

- ALL CONSTRUCTION SHALL BE COMPLETED IN STRICT ACCORDANCE WITH THE DESIGN GUIDELINES AND/OR APPLICABLE ACCESSIBILITY STANDARDS.
- REPORT TO THE OWNER/ARCHITECT ANY AND ALL DISCREPANCIES BETWEEN OR WITHIN, THE CONTRACT DOCUMENT AND APPLICABLE ACCESSIBILITY STANDARDS. PRIOR TO BEGINNING ANY PHASE OF CONSTRUCTION.
- UTILIZE EXTREME CARE TO ENSURE THAT ALL TOLERANCES, DIMENSIONS, AND CLEARANCE ARE CONSTRUCTED ACCURATELY AND WITHOUT DEVIATION.
- TAKE ANY AND ALL ACTIONS NECESSARY TO CORRECT CONDITIONS WHICH ARE IN THE OPINION OF THE STATE ACCESSIBILITY INSPECTOR IN VIOLATION OF ACCESSIBILITY STANDARD AS REQUIRED, AS THE DIRECT & SOLE RESULT OF DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS OR INADEQUATE CONSTRUCTION CONTROL & OR TOLERANCES.



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Drawn By: MTM  
Checked By: JJC  
Job Number: 23-022

**HANDICAP DETAILS**

No.	DATE	DESCRIPTION

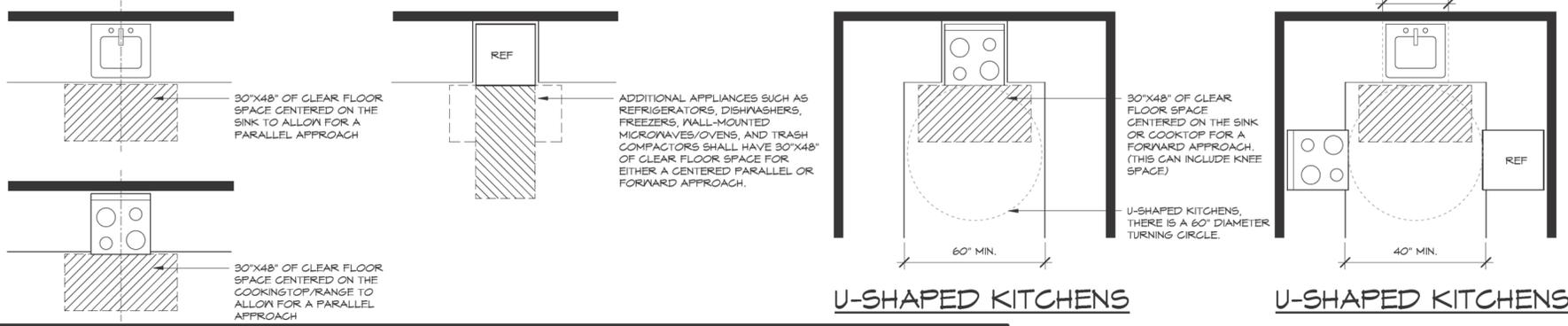
Date: 06/06/23  
Drawing No: HA-2

### AGING-IN-PLACE GUIDELINES

#### USABLE KITCHENS

**CLEAR FLOOR SPACE**  
THERE IS A MINIMUM CLEARANCE OF 40" BETWEEN ALL OPPOSING ELEMENTS WITHIN THE KITCHEN WORK AREA SUCH AS BASE CABINETS, COUNTER TOP EDGES, APPLIANCES, OR WALLS.  
IN INSTANCES WHERE KITCHENS HAVE AN ISLAND, THE 40" MINIMUM CLEARANCE IS MAINTAINED AROUND ALL EDGES WITHIN THE KITCHEN WORK AREA.

**U-SHAPED KITCHENS**  
IN U-SHAPED KITCHENS, THERE IS AN 60" DIAMETER TURNING CIRCLE AT THE BASE OF THE KITCHEN.

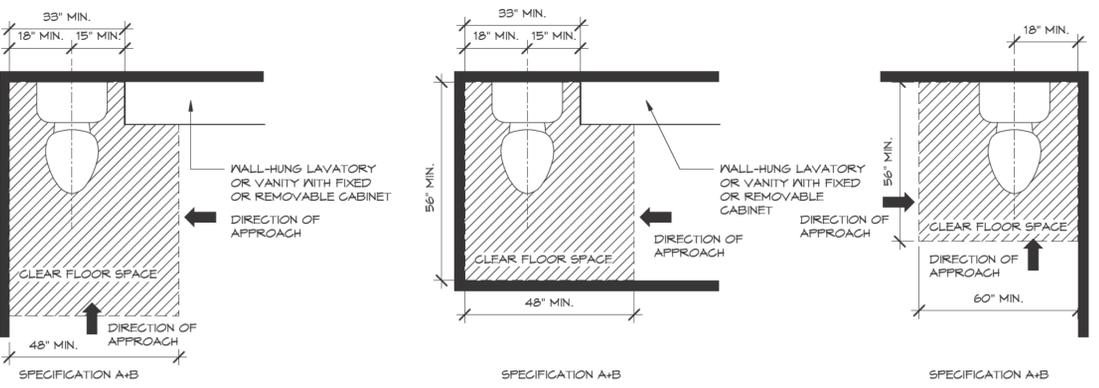


#### USABLE BATHROOMS

**CLEAR FLOOR SPACE**  
THERE IS A 30"x48" OF CLEAR FLOOR SPACE OUTSIDE THE SWING OF THE DOOR THAT PROVIDES A FORWARD APPROACH TO THE TUB.  
A PARALLEL APPROACH TO THE TUB IS ALSO POSSIBLE IF PROPER KNEE SPACE OR REMOVABLE BASE CABINETS AREA PROVIDED.

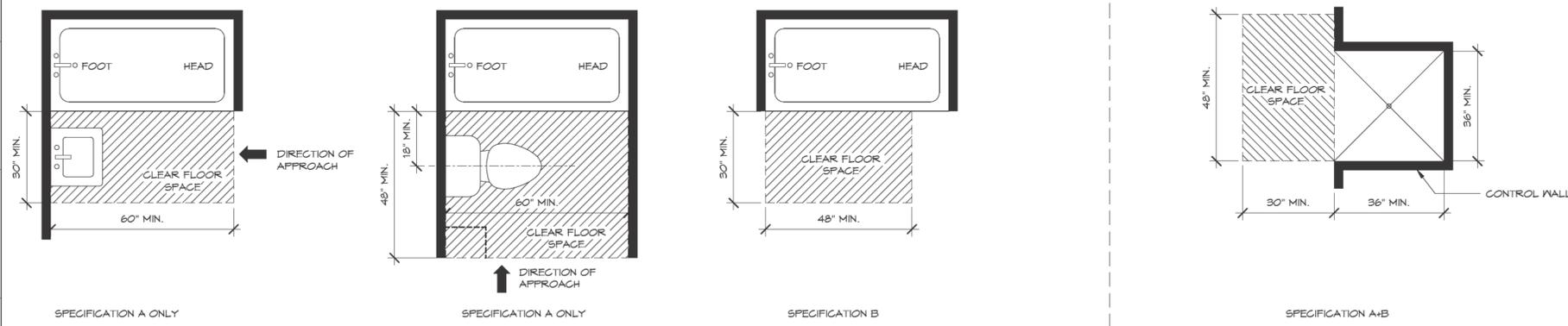
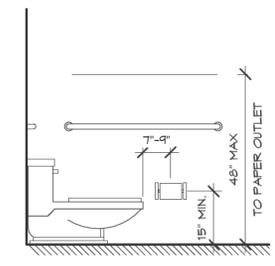
**CLEAR FLOOR SPACE IS PROVIDED AT THE LAVATORY BY:**  
• 30"x48" OF CLEAR FLOOR SPACE TO AND CENTERED ON THE SINK BASIN; OR  
• A REMOVABLE VANITY CABINET PROVIDED KNEE SPACE FOR A FORWARD APPROACH.

**REINFORCED WALLS**  
IN U-SHAPED KITCHENS, THERE IS AN 60" DIAMETER TURNING CIRCLE AT THE BASE OF THE KITCHEN.



#### TOILET PAPER DISPENSER

**DISPENSERS**  
TOILET PAPER DISPENSERS SHALL BE 7" MINIMUM AND 9" MAXIMUM IN FRONT OF THE WATER CLOSET MEASURED TO THE CENTERLINE OF THE DISPENSER. THE OUTLET OF THE DISPENSER SHALL BE 15" MINIMUM AND 48" MAXIMUM ABOVE THE FINISH FLOOR AND SHALL NOT BE LOCATED BEHIND GRAB BARS. DISPENSERS SHALL NOT BE OF A TYPE THAT CONTROLS DELIVERY OR THAT DOES NOT ALLOW CONTINUOUS PAPER FLOW.

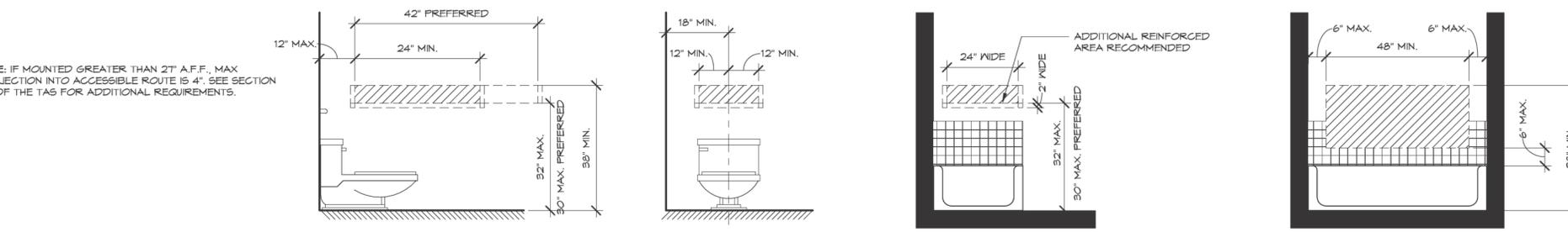


#### REINFORCED WALLS

**REINFORCED WALLS FOR GRAB BARS**  
REINFORCED WALLS ARE REQUIRED IN ALL BATHROOMS IN A COVERED DWELLING UNIT.  
IN INSTANCES WHERE THE SHOWERS ARE THE ONLY BATHROOM FIXTURE IN THE UNIT, OR ON THE ENTRY LEVEL OF A MULTISTORY UNIT IN A BUILDING WITH AN ELEVATOR:

- THERE IS A WALL REINFORCEMENT OF AT LEAST 6" PROVIDED ON ALL WALLS OF THE SHOWER.
- THE REINFORCED AREA IS POSITIONED BETWEEN 32" MAXIMUM AFF AT THE BOTTOM EDGE AND 38" MINIMUM AFF AT THE TOP EDGE.

IN BATHROOMS WHERE THE TOILET IS NOT ADJACENT TO A WALL, THE FLOOR, OR WALL SHALL BE REINFORCED FOR FOLDING OR FLOOR-MOUNTED GRAB BARS.



#### LAVATORY AND MIRRORS

**HEIGHT AND CLEARANCES**  
LAVATORIES SHALL BE MOUNTED WITH THE RIM OR COUNTER SURFACES NO HIGHER THAN 34 IN. ABOVE FINISH FLOOR TO PROVIDE A CLEARANCE OF AT LEAST 29 IN. ABOVE THE FINISH FLOOR TO THE BOTTOM OF THE APRON. KNEE AND TOE CLEARANCE SHALL COMPLY WITH FIG. 31

**CLEAR FLOOR SPACE**  
A CLEAR FLOOR SPACE 30 IN. BY 48 IN. COMPLYING WITH " APPLICABLE ACCESSIBILITY STANDARDS", SHALL BE PROVIDED IN FRONT OF A LAVATORY TO ALLOW FORWARD APPROACH. LAVATORIES AND MIRRORS INSTALLED IN ALCOVES DEEPER THAN 24 IN. REQUIRE ADDITIONAL MANEUVERING AREA. SUCH CLEAR FLOOR SPACE SHALL ADJOIN OR OVERLAP AN ACCESSIBLE ROUTE AND SHALL EXTEND A MAXIMUM OF 19 IN. UNDERNEATH THE LAVATORY. SEE FIG. 32

**EXPOSED PIPES AND SURFACES**  
HOT WATER AND DRAIN PIPES UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.

**4.19.5 FAUCETS**  
FAUCETS SHALL COMPLY WITH "APPLICABLE ACCESSIBILITY STANDARDS". LEVER - OPERATED, PUSH - TYPE, AND ELECTRONICALLY CONTROLLED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGNS. IF SELF - CLOSING VALVES ARE USED THE FAUCET SHALL REMAIN OPEN FOR AT LEAST 10 SECONDS.

**4.19.6 MIRRORS**  
MIRRORS LOCATED ABOVE LAVATORIES OR COUNTERTOPS SHALL BE INSTALLED WITH THE BOTTOM EDGE OF THE REFLECTING SURFACE 40 INCHES (1015 MM) MAXIMUM ABOVE THE FINISH FLOOR OR GROUND. MIRRORS NOT LOCATED ABOVE LAVATORIES OR COUNTERTOPS SHALL BE INSTALLED WITH THE BOTTOM EDGE OF THE REFLECTING SURFACE 35 INCHES (890 MM) MAXIMUM ABOVE THE FINISH FLOOR OR GROUND. A SINGLE FULL-LENGTH MIRROR CAN ACCOMMODATE A GREATER NUMBER OF PEOPLE, INCLUDING CHILDREN. IN ORDER FOR MIRRORS TO BE USABLE BY PEOPLE WHO ARE AMBULATORY AND PEOPLE WHO USE WHEELCHAIRS, THE TOP EDGE OF MIRRORS SHOULD BE 74 INCHES (1880 MM) MINIMUM FROM THE FLOOR OR GROUND.

