

HISTORIC AND DESIGN REVIEW COMMISSION

June 28, 2024

HDRC CASE NO: 2024-224
ADDRESS: 517 WICKES
LEGAL DESCRIPTION: NCB 2916 BLK 5 LOT 17
ZONING: RM-4, H
CITY COUNCIL DIST.: 1
DISTRICT: King William Historic District
APPLICANT: Joe M and Stephanie Flores
OWNER: Joe M and Stephanie Flores
TYPE OF WORK: Historic Tax Certification & Verification
APPLICATION RECEIVED: June 19, 2024
60-DAY REVIEW: August 18, 2024
CASE MANAGER: Rachel Rettaliata
REQUEST:

The applicant is requesting Historic Tax Certification & Verification for the property at 517 Wickes.

APPLICABLE CITATIONS:

UDC Section 35-618. Tax Exemption Qualification.

(d) Certification.

(1) Historic and Design Review Commission Certification. Upon receipt of the owner's sworn application the historic and design review commission shall make an investigation of the property and shall certify the facts to the city tax assessor-collector within thirty (30) days along with the historic and design review commission's documentation for recommendation of either approval or disapproval of the application for exemption.

UDC Section 35-618 Tax Exemption Qualifications:

(e) Verification of Completion. Upon completion of the restoration and rehabilitation, together with a fee as specified in Appendix "C" of this chapter, the owner, who may not be the same as at the time of application, shall submit a sworn statement of completion acknowledging that the historically significant site in need of tax relief to encourage preservation has been substantially rehabilitated or restored as certified by the historic and design review commission. The historic and design review commission, upon receipt of the sworn statement of completion, but no later than thirty (30) days thereafter, shall make an investigation of the property and shall recommend either approval or disapproval of the fact that the property has been substantially completed as required for certification. If the historic and design review commission recommends that it has not been substantially completed as so required, then the certified applicant may be required by the historic preservation officer to complete the restoration or rehabilitation in order to secure the tax exemption provided herein. If the verification of completion is favorable, the historic and design review commission shall recommend approval and the historic preservation office may notify the tax assessor-collector in writing of compliance. Thereafter, the tax assessor-collector shall provide the property with the historic tax exemption.

FINDINGS:

- a. The primary structure at 517 Wickes is a 1-story, single-family residence constructed in the Craftsman style circa 1920. The structure features a composition shingle roof, an asymmetrical front porch on wood post supports, wood siding, and one-over-one wood windows. The property is contributing to the King William Historic District. The applicant is requesting Historic Tax Certification and Historic Tax Verification.
- b. The scope of work includes foundation repair, roof replacement, addition modification, window and siding repair, side door replacement, painting, interior fireplace and chimney restoration, wheelchair ramp installation, and driveway modifications.
- c. The applicant has met all the requirements for Historic Tax Certification outlined in UDC Section 35-618 and has provided evidence to that effect to the Historic Preservation Officer.

- d. Staff conducted a site visit on June 20, 2024, to examine the conditions of the property. Staff verifies that all work used to qualify for the Substantial Rehabilitation Tax Incentive has been completed and that there are no existing violations on the property.
- e. The applicant has met all requirements of the City's tax verification process as described in Section 35-618 of the UDC and has furnished evidence to that effect to the Historic Preservation Officer, including the submission of an itemized list of costs that meets the threshold to be eligible for the Substantial Rehabilitation Tax Incentive.
- f. Approval of Tax Verification by the HDRC in 2024, means that the property owner will be eligible for the Substantial Rehabilitation Tax Incentive beginning in 2025. The Substantial Rehabilitation Tax Incentive applies to the City of San Antonio tax entity line only.

RECOMMENDATION:

Staff recommends approval based on findings a through f.

Required documents

- ☒ ☐ One set of complete plans for restoration and rehabilitation both exterior and interior. This could include drawings or photos of the narrative. **Please see architectural designs.**
- ☒ ☐ Detailed written narrative explaining the proposed work.
 - This home was down to the studs when we purchased it
 - **Foundation:** The foundation issues were rectified.
 - **Exterior/Windows** We restored all windows and simply installed glass to any broken sashes. We utilized the weights and purchased new rope to keep the integrity of the windows. We kept the exterior paint white with gray trim.
 - **Doors:** Front door is still the original door. We purchased a wood door for our rear side door from Pickers Paradise.
 - **Exterior Siding** was restored as much as possible and any damaged ones were replaced with 117 siding.
 - **The rear of the home** was an addition, but the roof line was not aligned. We obtained permission from OHD to align it.
 - **The roof** was completely replaced with the same type of material as original (composition shingle)
 - **Fireplace:** The fireplace is the original and has been restored both exterior and interior.
 - **Wheelchair ramp:** This was approved by OHD and added to the side to maintain front of home integrity
 - **Driveway expanded for ADA vehicles-** This was approved by OHD.
- ☒ ☐ Itemized list of expected work both interior and exterior. See Page 4
- ☒ ☐ Project time schedule: **Work started in July 2023 and we completed the work end of February.**
- ☒ ☐ Estimated associated costs: [REDACTED]
 - ☐ Color photos of the exterior and interior
 - ☐ Color photos of the structure from the street,

List of
repairs for
517 Wickes

		Status
1	Subflooring Labor	Completed
2	Subflooring material	Completed
3	Framing Labor	Completed
4	Framing material	Completed
5	Cathedral Ceiling Interior	Completed
6	Roof material	Completed
7	Roof labor	Completed
8	All new Electrical (all outlets, ceiling fans, new breaker boxes)	Completed
9	Additional Roof replacement	Completed
10	All new Plumbing	Completed
11	Dry wall	Completed
12	Interior Doors	Completed
13	11 Windows to restore with rope and weights	Completed
14	Kitchen cabinets	Completed
15	Kitchen quartz countertops	Completed
16	Fireplace restoration interior	Completed
17	Paint	Completed
18	Build out Bathroom 1	Completed
19	Build out Bathroom 2	Completed
20	Built out Bathroom 3 (1/2 bath)	Completed
21	Trim/ baseboards	Completed
22	Sod for front	Completed
23	Fixtures	Completed
24	HVAC	Completed
25	Demo	Completed
26	Luxury vinyl flooring	Completed
27	Shed	Completed
28	Porch Deck Boards	Completed
29	Wheel chair ramp	Completed
30	Shed	Completed
31	Sand and paint exterior	Completed
32	Replace broken siding boards with 117	Completed
33	Driveway expanded to fit ADA vehicles	Completed

Front of Home Pictures

Before



After



Right side of home



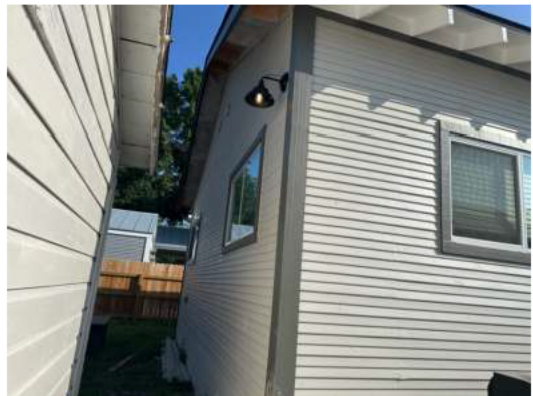
Left side of home



Left side continued



Rear of Home



Interior

Entry/ Living Room

Before



After



Kitchen

Before



After



Master bedroom`

Before



After



More After

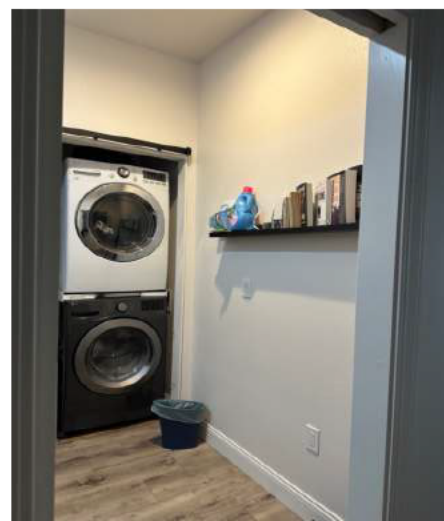
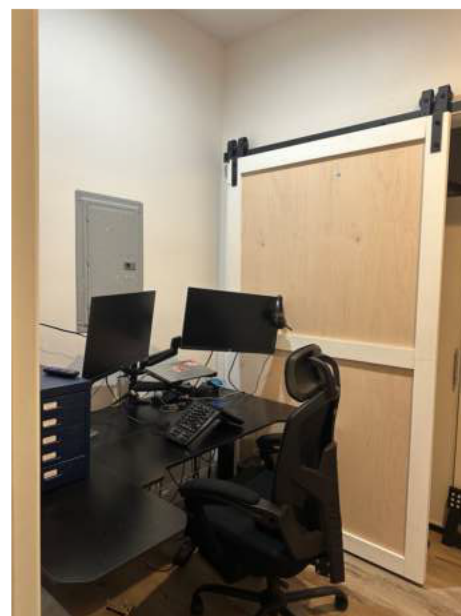


Office

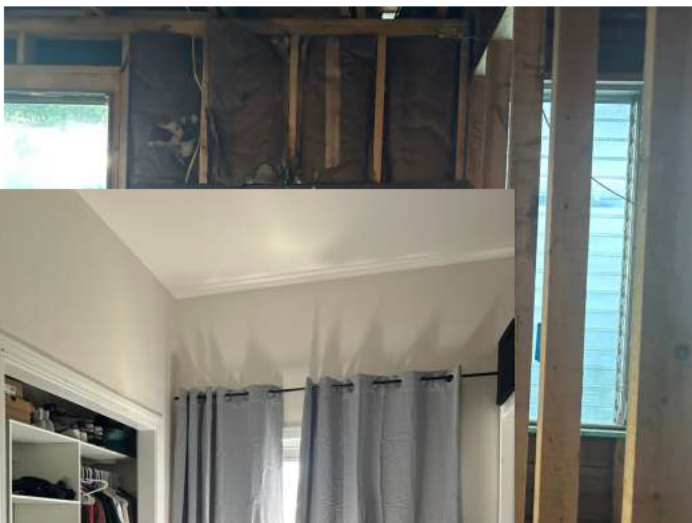
Before



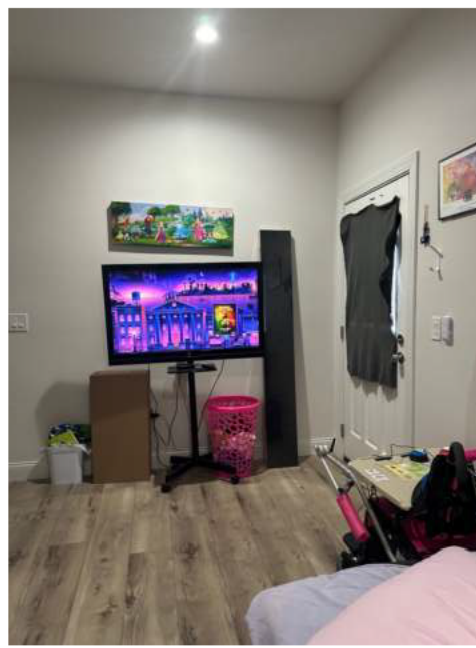
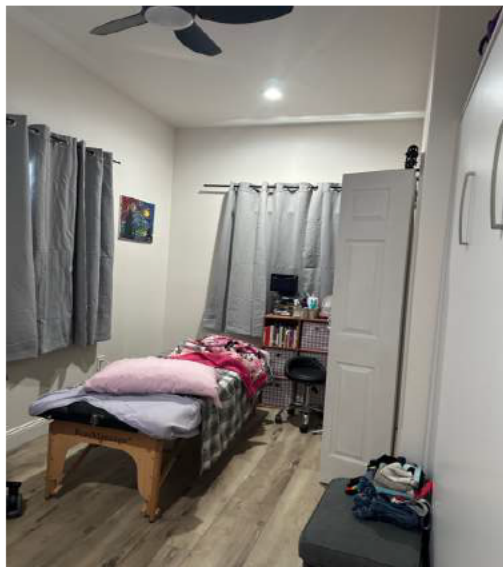
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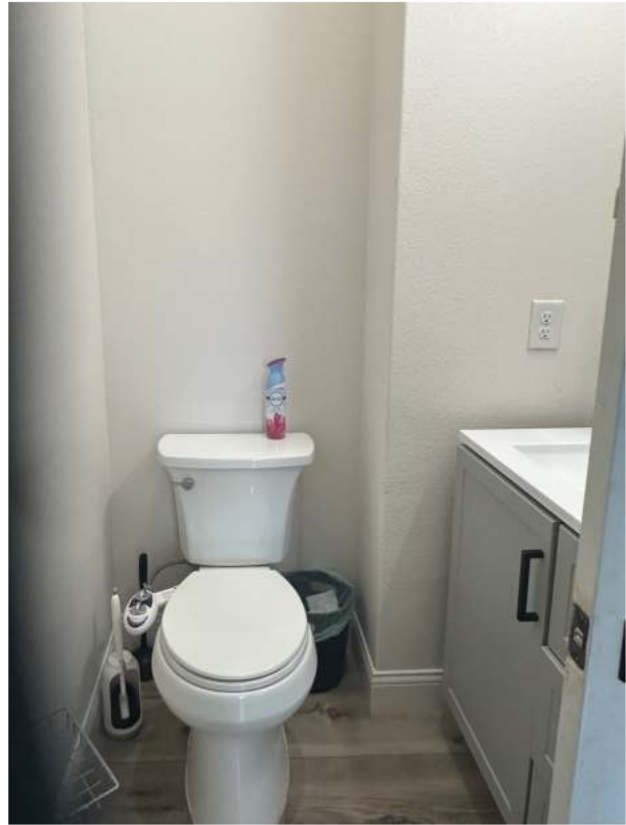
Bedroom #2



Bedroom 3



Half Bath

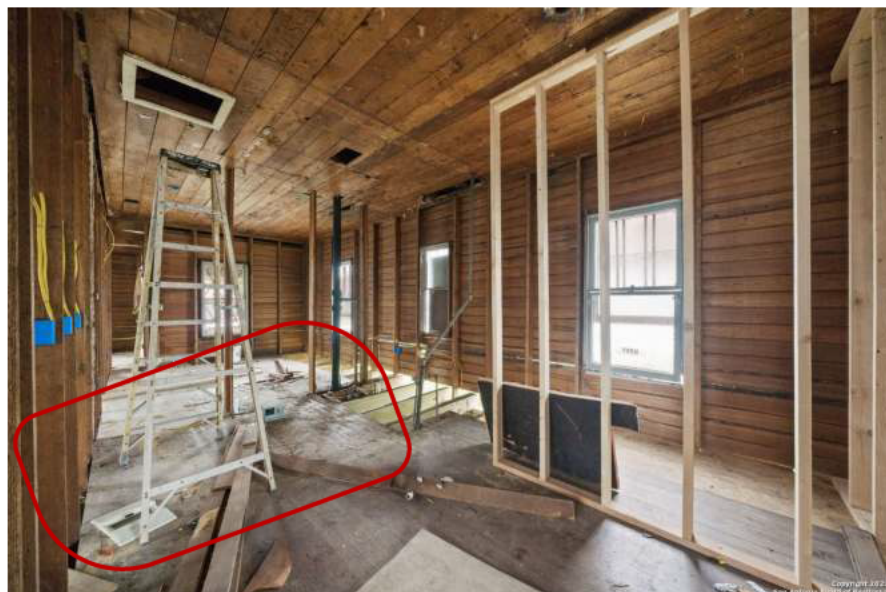


Kid's Bathroom



Master Bathroom

Before



After



Closet





HISTORIC HOUSE REMODEL FOR 517 WICKES STREET

517 WICKES STREET
SAN ANTONIO, TEXAS - 78210

SHEET INDEX

PROJECT TEAM:

OWNER:
STEPHANIE FLORES
210-316-1394
4txflowers@gmail.com

PROJECT ARCHITECT:
ARCHITECTURA SA, INC.
17038 REDLAND RD, SUITE 101
SAN ANTONIO, TEXAS 78247
Phone: (210) 384-8200
Phone: (866) 583-0968
Fax: (210) 319-3555

PROJECT DATA:

ADDRESS:
517 WICKES STREET
SAN ANTONIO, TEXAS 78210

BUILDING DESCRIPTION:
ONE-STORY HISTORIC HOUSE

BUILDING AREA:
1,445 SQ. FT.

BUILDING CODE CLASSIFICATION:
INTERNATIONAL RESIDENTIAL CODE - 2021
INTERNATIONAL ENERGY CONSERVATION - 2021
UNIFIED DEVELOPMENT CODE

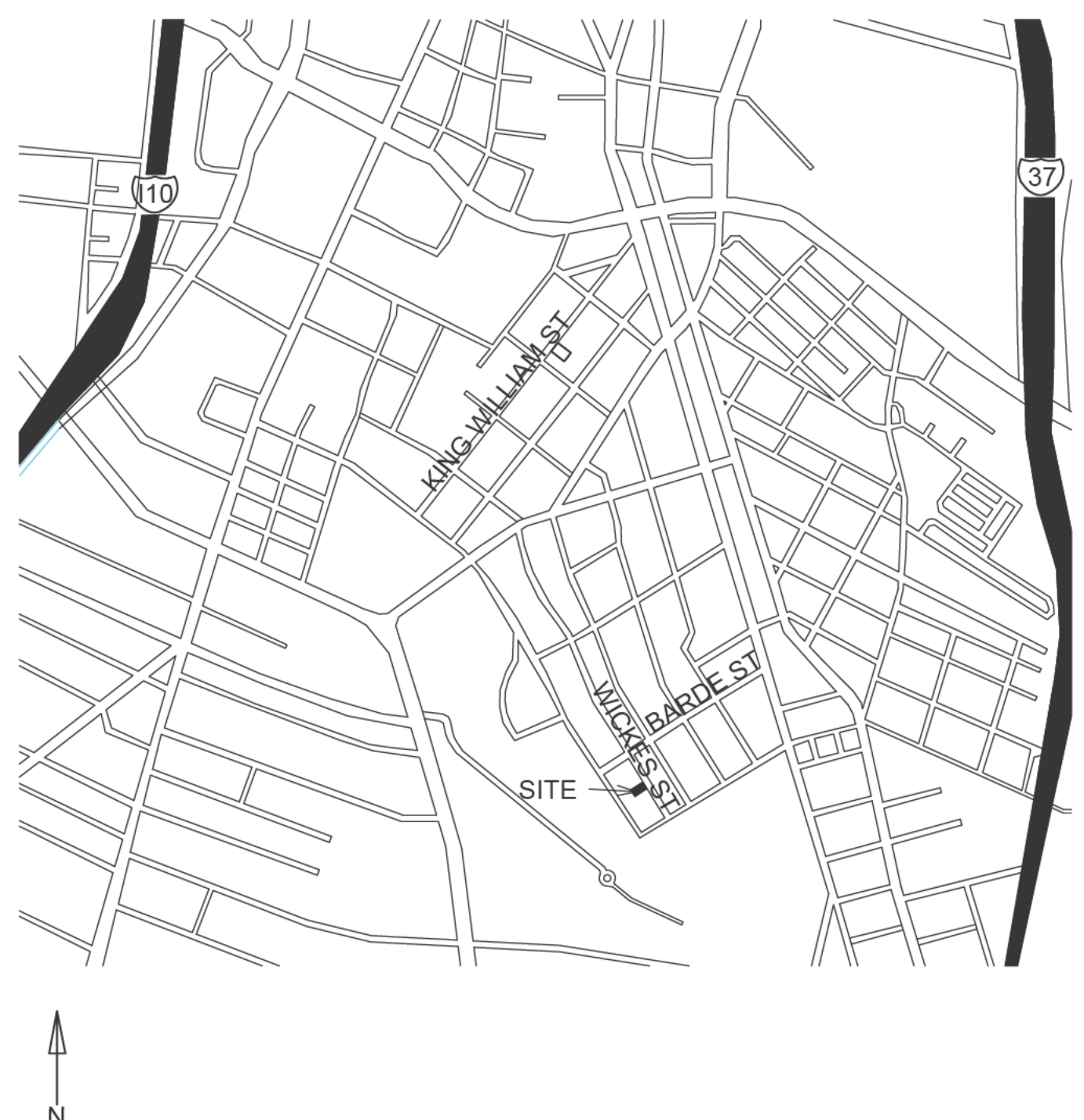
OCCUPANCY CLASSIFICATION:
RESIDENTIAL (SINGLE FAMILY)

INDEX:

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VICINITY MAP



CONSTRUCTION DOCUMENTS
EXP: 9/30/23



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FLORES RESIDENCE
KING WILLIAM HISTORIC DISTRICT
517 WICKES ST.
SAN ANTONIO, TEXAS 78210

Drawn By: MTM
Checked By: JJC
Job Number: 23-022

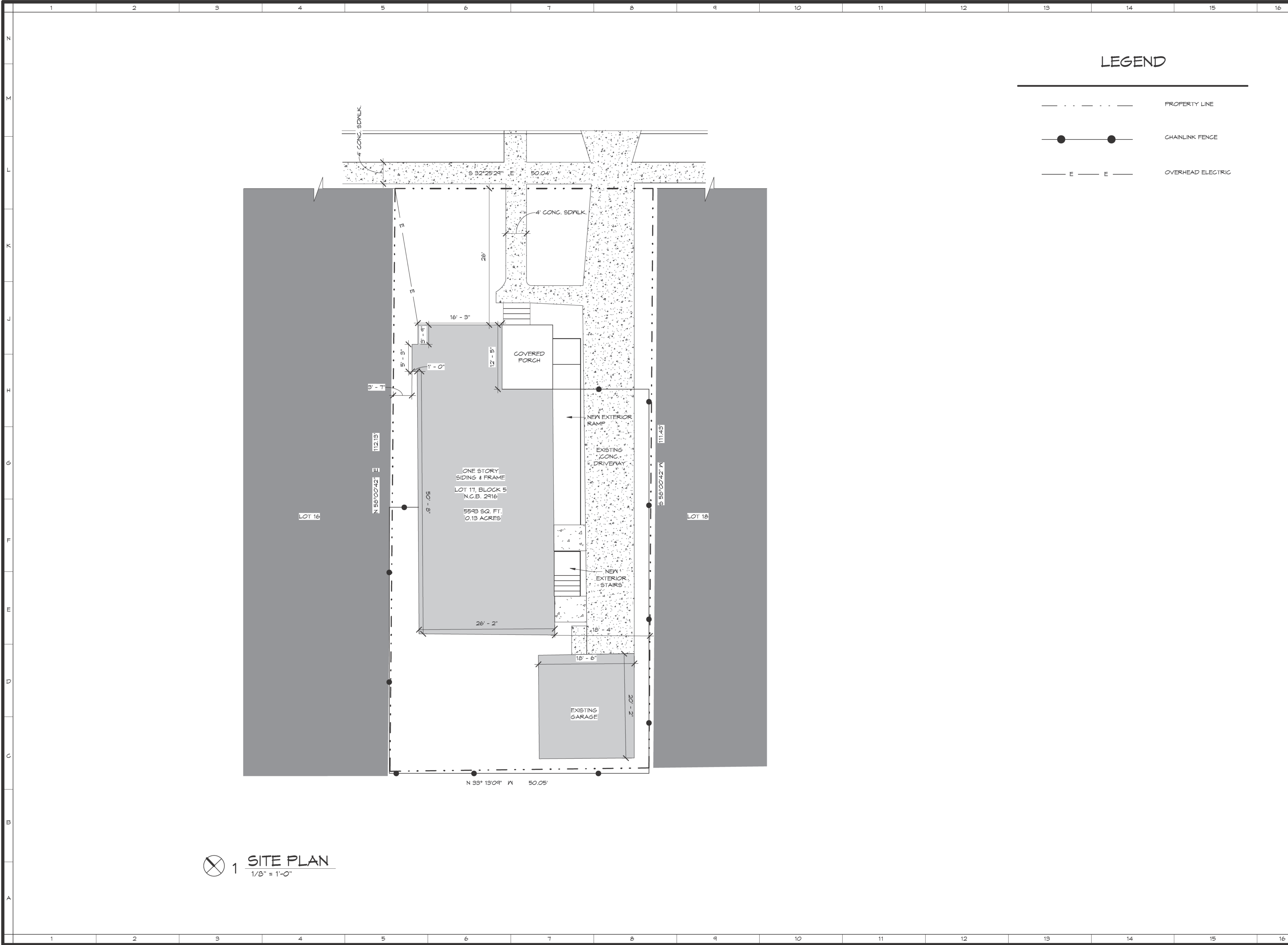
COVER SHEET

No.	DATE	DESCRIPTION

Date: 06/06/23

Drawing No:

COVER



1 SITE PLAN
1/8" = 1'-0"

LEGEND

- PROPERTY LINE
- CHAINLINK FENCE
- OVERHEAD ELECTRIC

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EXP. 9/30/23



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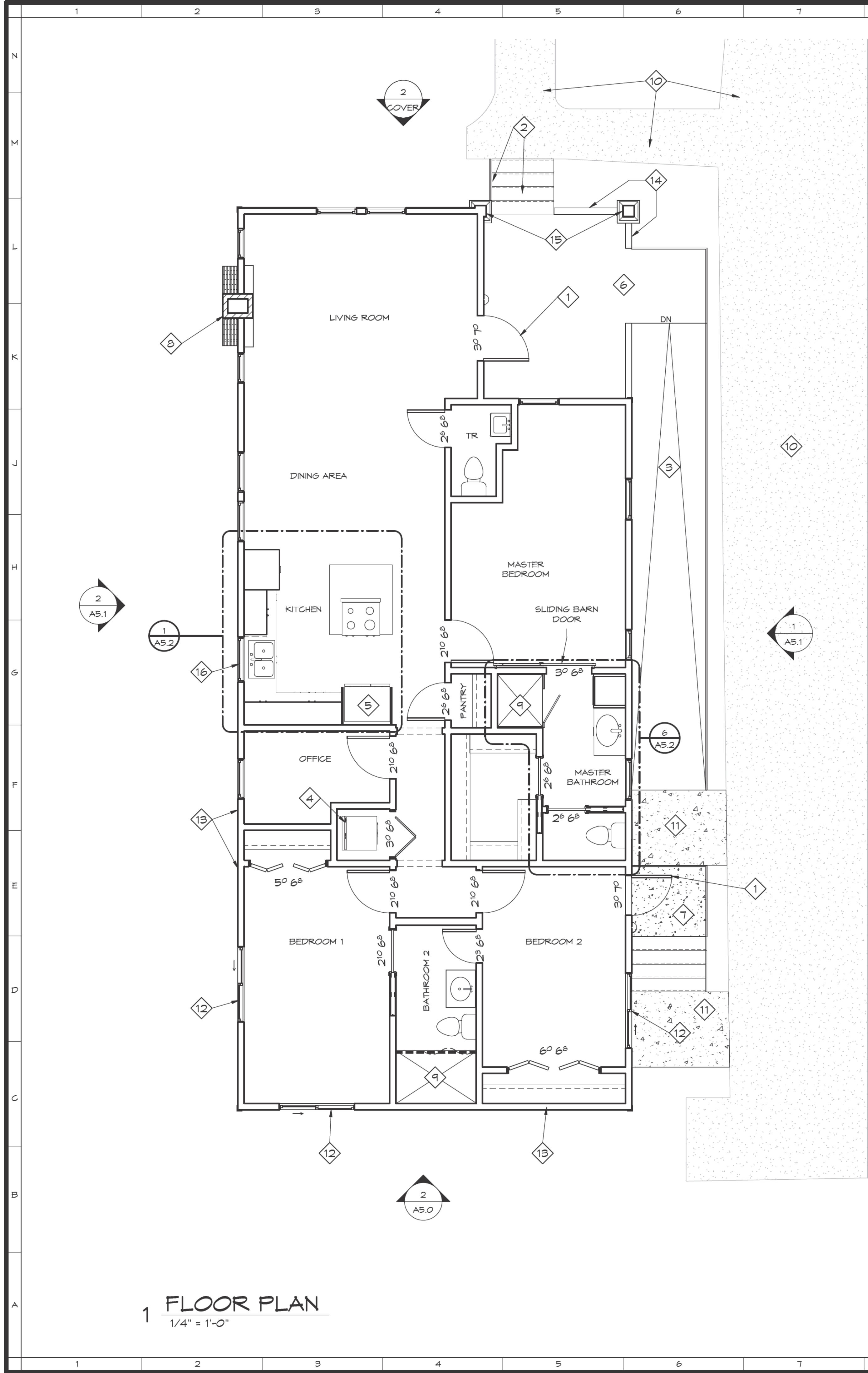
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SITE PLAN		
No.	DATE	DESCRIPTION

Date: 06/06/23
Drawing No: **A1.0**



1 FLOOR PLAN
1/4" = 1'-0"

SHEET NOTES

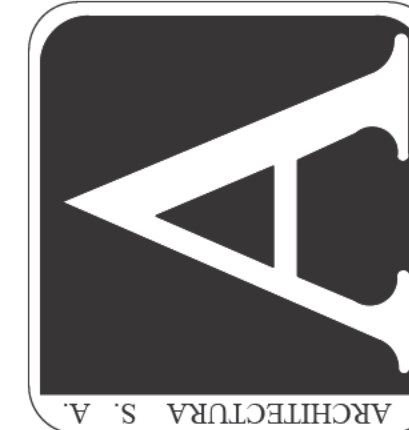
- SOLID CORE EXTERIOR DOOR WITH WEATHER SEALS.
- EXISTING STAIRS WITH METAL RAILING. REFINISH AS APPROVED BY OWNER.
- NEW WHEEL CHAIR RAMP WITH CODE COMPLIANT SAFETY RAILING. SLOPE NOT TO EXCEED 8%.
- STACKABLE WASHER AND DRYER. PROVIDE POWER AS REQUIRED.
- REFRIDGERATOR AS SELECTED BY OWNER.
- MODIFY EXISTING WALL FOR NEW RAMP OPENING AS SHOWN. COORDINATE AT JOBSITE.
- NEW EXTERIOR STAIRS WITH METAL RAILING.
- EXISTING MASONRY CHIMNEY. REPAIR/RESTORE/REFINISH AS REQUIRED.
- SHOWER AREA WITH SAFETY GLAZING
- EXISTING PAVING AND DRIVEWAY TO REMAIN.
- NEW PAVING TO BE FLUSH WITH EXISTING.
- LOWER SILL OF EXISTING WINDOW OPENING TO COMPLY WITH BEDROOM EGRESS REQUIREMENTS. REPLACE EXISTING WINDOW WITH NEW.
- PATCH EXTERIOR WALL WITH MATCHING MATERIALS.
- EXISTING PARTIAL HEIGHT WALL TO REMAIN.
- EXISTING DECORATIVE COLUMN TO REMAIN.
- SHIFT EXISTING WINDOW HEIGHT TO LOCATE OVER KITCHEN COUNTER.

FLOOR PLAN GENERAL NOTES:

- ALL STRUCTURAL INFORMATION SHOWN FOR REFERENCE PURPOSES ONLY. CONTRACTOR SHALL HAVE LICENSED STRUCUTURAL ENGINEER REVIEW AND DESIGN ALL STRUCTURAL ELEMENTS SUCH AS ALL FRAMING WALLS, BEAMS, CONNECTIONS, HEADERS, JOISTS AND RAFTERS.
- ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD OR ICF WALL UNLESS NOTED OTHERWISE.
- WINDOW SIZES INDICATED ON PLANS ARE NOTED BY APPROXIMATE ROUGH OPENING SIZE. REFER TO PLANS AND EXTERIOR ELEVATIONS FOR WINDOW TYPES.
- COORDINATE LOCATION OF UTILITY METERS WITH SITE PLAN AND LOCATE AWAY FROM PUBLIC VIEW. VISUAL IMPACT SHALL BE MINIMIZED, I.E. MOUNT AS LOW AS POSSIBLE.
- CONTRACTOR SHALL COORDINATE ALL CLOSET SHELVING REQUIREMENTS.
- DO NOT SCALE DRAWINGS, FOLLOW DIMENSIONS ONLY.
- CONTRACTOR SHALL FIELD VERIFY ALL CABINET DIMENSIONS BEFORE FABRICATION.
- BEDROOM WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ.FT., A MINIMUM NET CLEAR OPENABLE WIDTH OF 20", A MINIMUM NET CLEAR OPENABLE HEIGHT OF 24" AND HAVE A MAXIMUM FINISH SILL HEIGHT OF 44" FROM FINISH FLOOR.
- ALL GLASS LOCATED WITHIN 18" OF FLOOR, 12" OF A DOOR OR LOCATED WITHIN 60" OF FLOOR AT BATHTUBS, WHIRLPOOLS, SHOWERS, SAUNAS, STEAM ROOMS OR HOT TUBS SHALL BE TEMPERED.
- ALL EXPOSED INSULATION SHALL HAVE A FLAME SPREAD RATING OF LESS THAN 25 AND A SMOKE DENSITY RATING OF LESS THAN "450".
- PROVIDE COMBUSTION AIR VENTS, WITH SCREEN AND BACK DAMPER, FOR WOOD STOVES AND ANY APPLIANCE WITH AN OPEN FLAME.
- BATHROOMS AND UTILITY ROOMS SHALL BE VENTED TO THE OUTSIDE WITH A MINIMUM OF A 90 CFM FAN. RANGE HOODS SHALL ALSO BE VENTED TO OUTSIDE.
- ALL INTERIOR WALLS SHALL BE COVERED WITH 5/8" GYPSUM BOARD, WITH METAL CORNER REINFORCING, TAPE FLOAT AND SAND. (3 COATS) USE 5/8" GYPSUM BOARD ON CEILINGS WHEN SUPPORTING MEMBERS ARE 24" O.C. OR GREATER. USE 5/8" GYPSUM BOARD ON CEILING MEMBERS LESS THAN 24" O.C.
- ALL BATH AND TOILET AREA WALLS AND CEILINGS SHALL HAVE WATER RESISTANT GYPSUM BOARD.
- VERIFY ALL PLANS W/ LOCAL BUILDING CODES.
- ALL TUB OR SHOWER ENCLOSURES ARE TO BE GLAZED WITH SAFETY GLAZING. OWNER TO VERIFY
- ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH WEATHERSTRIPPING. PROVIDE 1/2" DEADBOLT LOCKS ON ALL EXTERIOR DOORS AND LOCKING DEVICES ON ALL DOORS OR WINDOWS WITHIN 10' (VERTICAL) OF GRADE. PROVIDE PEEP-HOLE @ 54" - 66" ABOVE FLOOR ON EXTERIOR DOORS.



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Drawn By: MTM
Checked By: JJC
Job Number.: 23-022

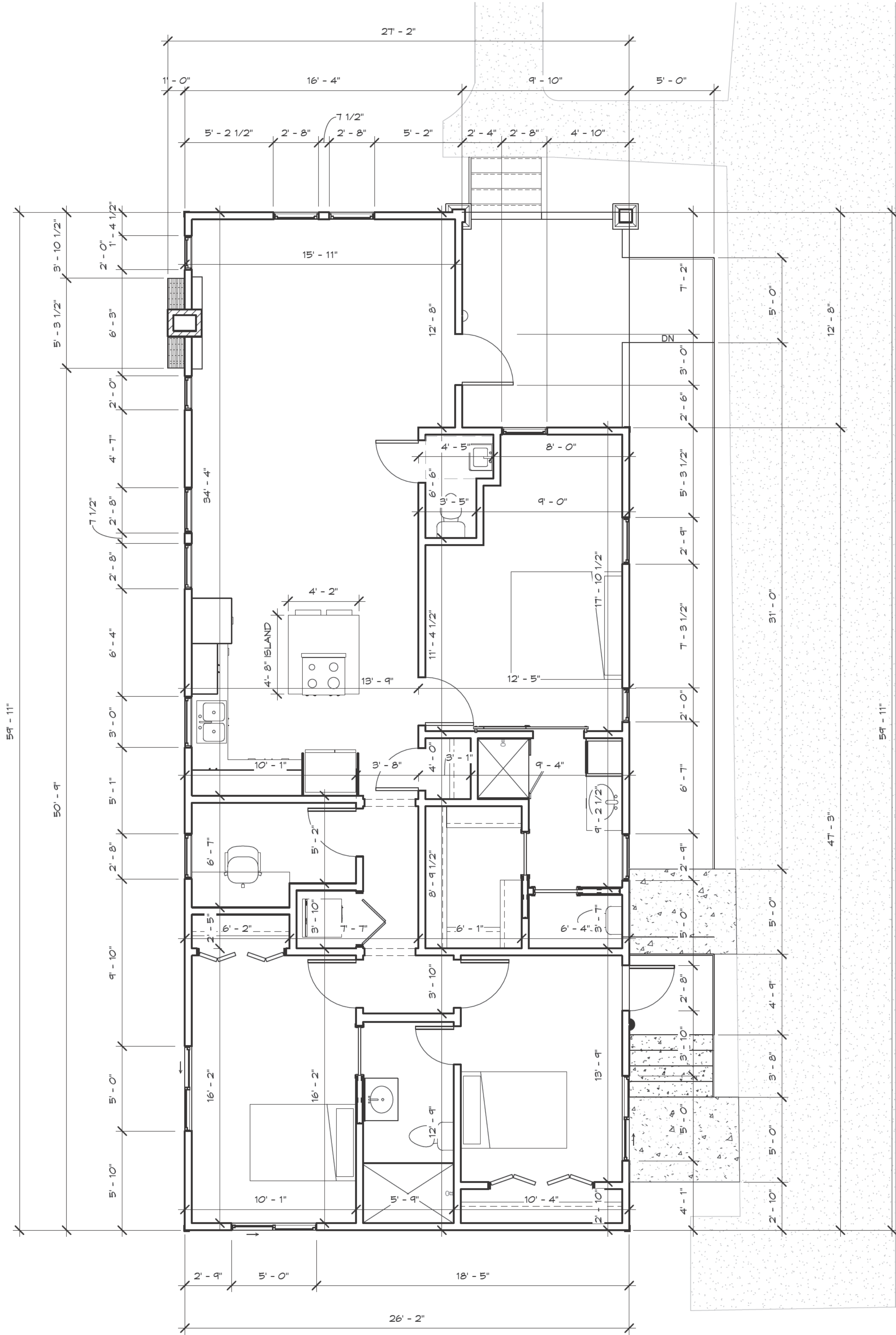
FLOOR PLAN

No.	DATE	DESCRIPTION

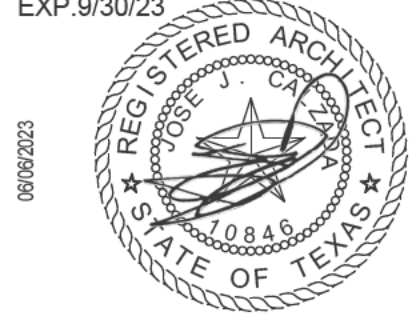
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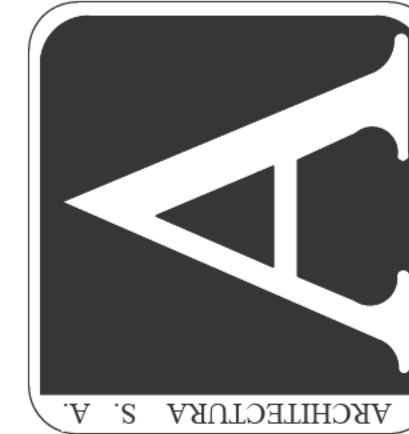
A2.0



1 DIMENSION PLAN
1/4" = 1'-0"



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DIMENSION PLAN

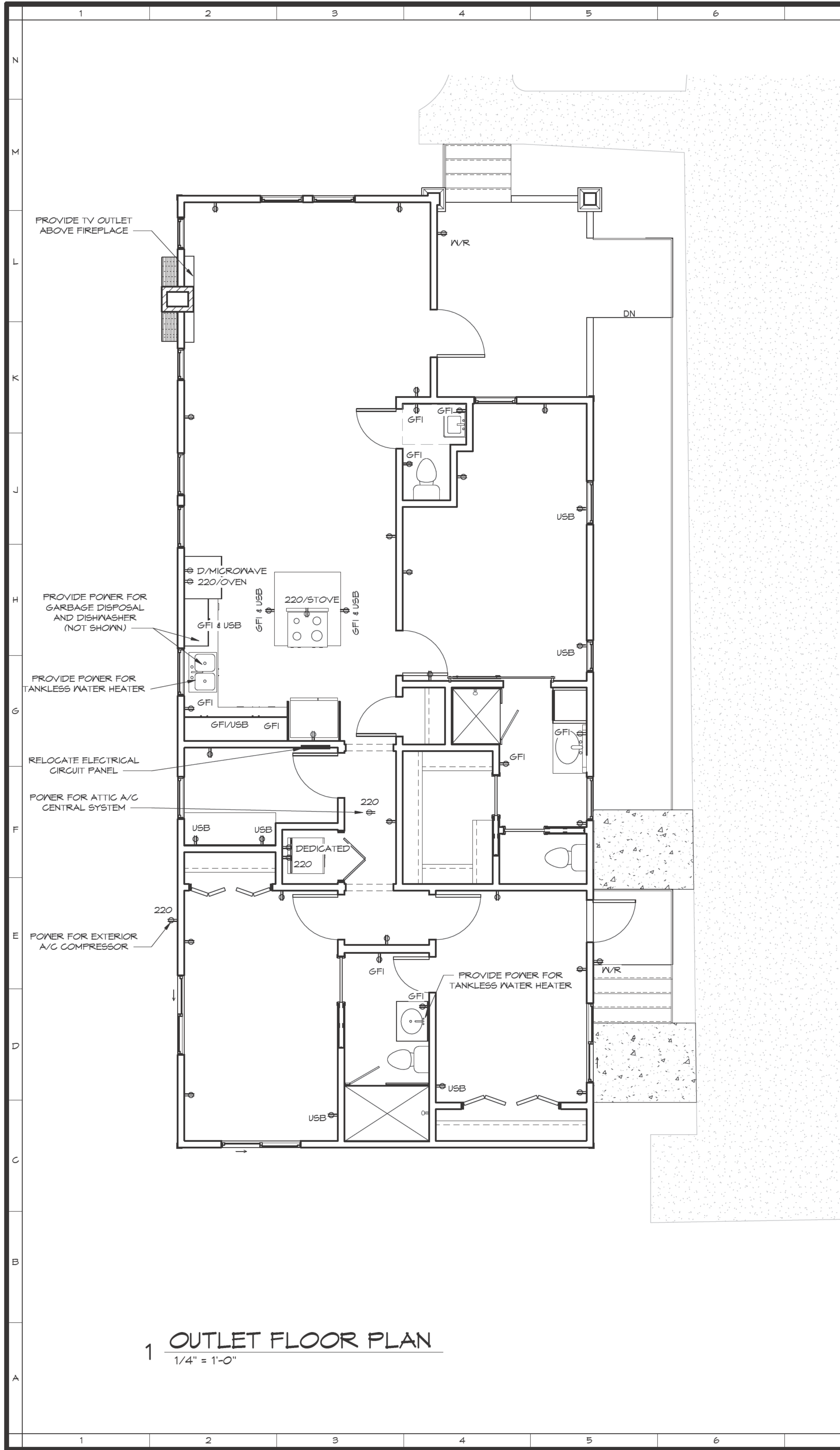
No.	DATE	DESCRIPTION

Date: 06/06/23

Drawing No:

A2.1

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1 OUTLET FLOOR PLAN
1/4" = 1'-0"

ELECTRICAL REQUIREMENTS

LIGHTING REQUIREMENTS:

AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN EVERY HABITABLE ROOM AND IN BATHROOMS, HALLWAYS, STAIRWAYS, ATTACHED GARAGES, DETACHED GARAGES PROVIDED WITH ELECTRICAL POWER AND AT THE EXTERIOR SIDE OF EGRESS DOORS.

STAIRWAY LIGHTING CONTROL:

ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH A MEANS OF ILLUMINATION TO THE STAIR, INCLUDING THE LANDINGS AND TREADS, TO BE CONTROLLED BY A WALL SWITCH AT EACH FLOOR LEVEL. INTERIOR STAIRS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF EACH LANDING AT THE TOP AND BOTTOM OF THE STAIR. EXTERIOR STAIRS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE TOP LANDING OF THE STAIR. EXCEPTION: WHERE THE DIFFERENCE BETWEEN FLOOR LEVELS REQUIRES LESS THAN 6 STAIR RISERS.

FIXTURES IN CLOTHES CLOSETS:

SURFACE MOUNTED FLUORESCENT FIXTURES SHALL BE INSTALLED ON THE WALL ABOVE THE DOOR OR ON THE CEILING, PROVIDED THERE IS A MINIMUM CLEARANCE OF 6" BETWEEN THE FIXTURE AND THE NEAREST POINT OF A STORAGE SPACE.

WET OR DAMP LOCATIONS:

FIXTURES INSTALLED IN WET OR DAMP LOCATIONS SHALL BE INSTALLED SO THAT WATER CANNOT ENTER OR ACCUMULATE IN WIRING COMPARTMENTS, LAMPHOLDERS OR OTHER ELECTRICAL PARTS. ALL FIXTURES INSTALLED IN WET LOCATIONS SHALL BE MARKED "SUITABLE FOR WET LOCATIONS". ALL FIXTURES INSTALLED IN DAMP LOCATIONS SHALL BE MARKED "SUITABLE FOR WET LOCATIONS" OR "SUITABLE FOR DAMP LOCATIONS"

LIGHT SWITCH ACCESS:

ALL SWITCHES SHALL BE LOCATED TO ALLOW OPERATION FROM A READILY ACCESSIBLE LOCATION.

HIGH-EFFICIENCY INTERIOR LIGHTING SYSTEM:

ALL PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE LED COMPACT OR LINEAR FLOURESCENT, OR A LIGHTING SOURCE HAS A MINIMUM EFFICANCY OF 40 LUMENS PER INPUT WATT.

RECEPTACLE OUTLET REQUIREMENTS:

IN EVERY KITCHEN, FAMILY ROOM, DINING ROOM, LIVING ROOM, DEN, BEDROOM, OR SIMILAR ROOM OR AREA OF DWELLING UNITS, RECEPTACLE OUTLETS SHALL BE INSTALLED SO THAT NO POINT ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6 FEET, MEASURED HORIZONTALLY FROM AN OUTLET IN THAT SPACE, INCLUDING ANY WALL SPACE THAT IS 2 FEET OR MORE IN WIDTH.

KITCHENS:

RECEPTACLE OUTLETS, WITH GFI PROTECTION, SHALL BE INSTALLED EVERY 24" ON ALL COUNTER SPACES THAT MEASURE 12" OR WIDER

BATHROOMS:

AT LEAST ONE WALL RECEPTACLE OUTLET, WITH GFI PROTECTION, SHALL BE INSTALLED IN BATHROOMS ADJACENT TO EACH BASIN LOCATION.

OUTDOORS:

AT LEAST ONE RECEPTACLE OUTLET, WITH GFI PROTECTION, SHALL BE INSTALLED OUTDOORS AT THE FRONT AND BACK OF EACH DWELLING UNIT HAVING DIRECT ACCESS TO GRADE.

HALLWAYS:

HALLWAYS OF 10 FEET OR MORE IN LENGTH SHALL HAVE AT LEAST ONE RECEPTACLE OUTLET.

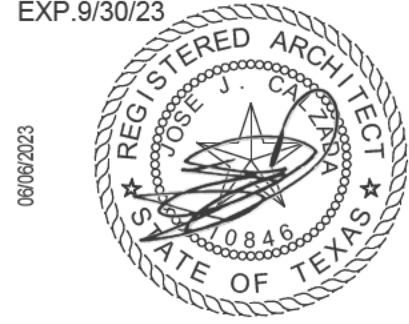
HVAC OUTLET:

A CONVENIENCE RECEPTACLE OUTLET SHALL BE INSTALLED FOR THE SERVICING OF HEATING, AIR-CONDITIONING AND REFRIGERATION EQUIPMENT LOCATED IN ATTICS AND CRAWL SPACES.

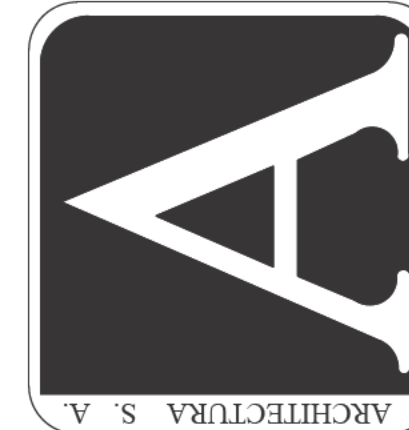
WET LOCATIONS:

A RECEPTACLE INSTALLED IN A WET LOCATION SHALL BE IN A WEATHER PROOF ENCLOSURE, THE INTEGRITY OF WHICH IS NOT AFFECTED WHEN THE ATTACHMENT PLUG CAP IS INSERTED.

CONSTRUCTION DOCUMENTS
EXP. 9/30/23



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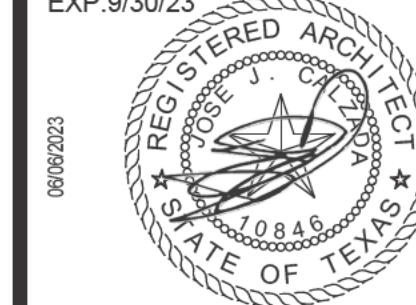
OUTLET PLAN

No.	DATE	DESCRIPTION

Date: 06/06/23

Drawing No:

A2.2



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Checked By:	JJC
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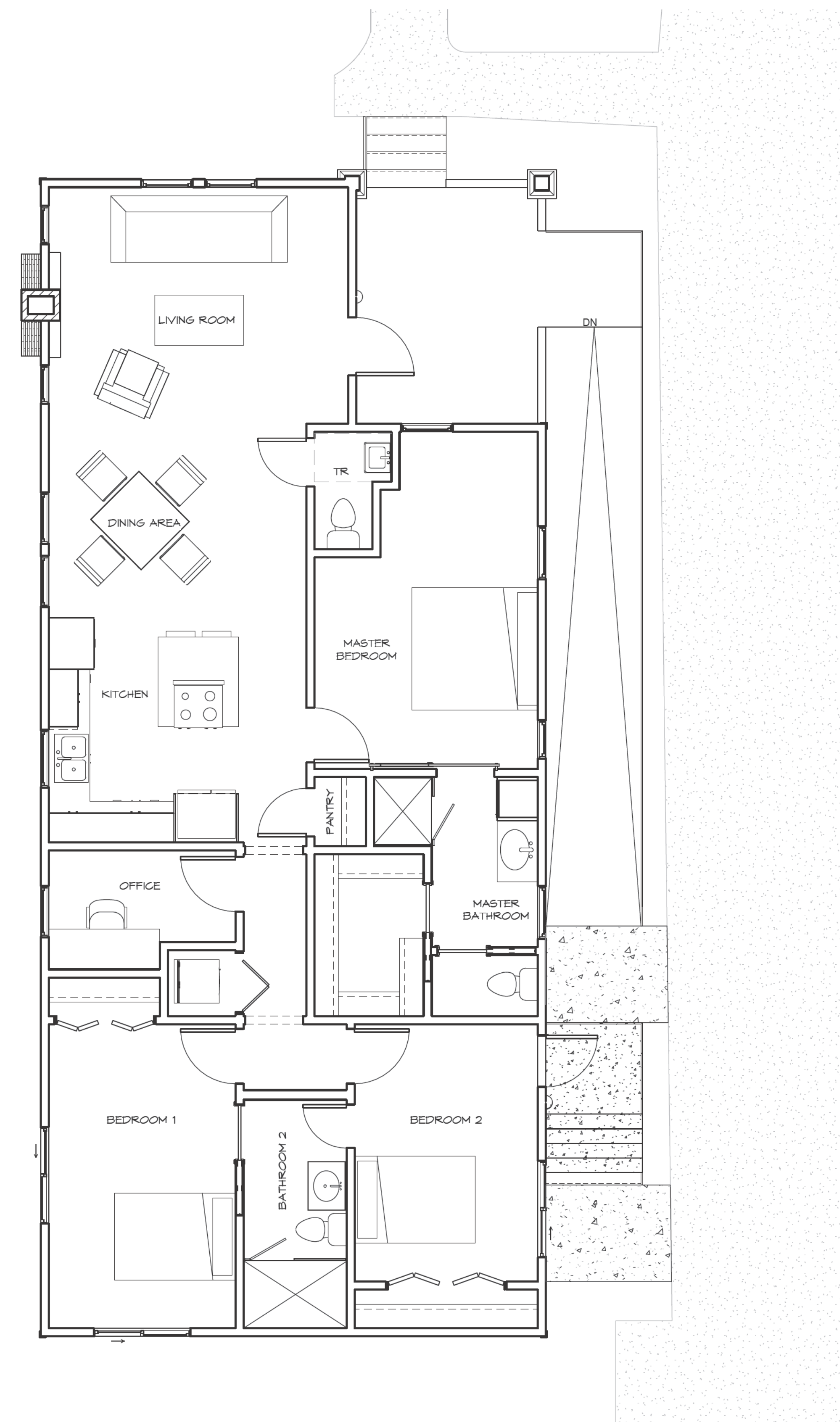
FURNITURE PLAN

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Date: 06/06/23

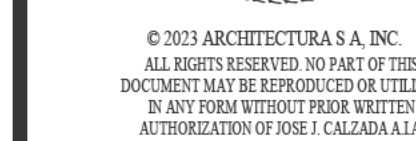
Drawing No:

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1 FURNITURE PLAN





ARCHITECTURE INTERIOR DESIGN PLANNING
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◆ SHEET NOTES

1. NEW ASPHALT SHINGLE ROOFING TO MATCH NEIGHBORS. COLOR TO BE SELECTED BY OWNER.
2. EXISTING CHIMNEY. REPAIR/RESTORE/REFINISH AS REQUIRED.
3. EXISTING ROOF STEP DOWN TRANSITION.
4. INSTALL NEW COUNTERFLASHING AT CHIMNEY.

GENERAL NOTES:

1. AS ALLOWED IN SECTION 11101.4, THERMAL PERFORMANCE OF A COMPONENT MAY BE ADJUSTED PROVIDED THAT OVERALL HEAT LOSS DOES NOT EXCEED THE TOTAL RESULTING FROM CONFORMANCE TO THE REQUIRED U-VALUE STANDARDS. CALCULATIONS TO DOCUMENT EQUIVALENT HEAT LOSS SHALL BE PERFORMED USING THE PROCEDURE AND APPROVED U-VALUES CONTAINED IN TABLE C402.1.4.
2. R-VALUES USED IN THIS TABLE ARE NOMINAL, FOR THE INSULATION ONLY IN STANDARD WOOD FRAMED CONSTRUCTION AND NOT FOR THE ENTIRE ASSEMBLY.
3. WALL INSULATION REQUIREMENTS APPLY TO ALL EXTERIOR WOOD FRAMED, CONCRETE OR MASONRY THAT ARE ABOVE GRADE. THIS INCLUDES CRIPPLE WALLS AND RIM JOIST AREAS. R-19 ADVANCED FRAME OR 2X4 WALL WITH RIGID INSULATION MAY BE SUBSTITUTED IF TOTAL NOMINAL INSULATION R-VALUE IS 18.5 OR GREATER.
4. BELOW-GRADE WOOD, CONCRETE OR MASONRY WALLS INCLUDE ALL WALLS THAT ARE BELOW GRADE AND DO NOT INCLUDE THOSE PORTIONS OF SUCH WALLS THAT EXTEND MORE THAN 24 INCHES ABOVE GRADE.
5. INSULATION LEVELS FOR CEILINGS THAT HAVE LIMITED ATTIC/RAFTER DEPTH SUCH AS DORMERS, BAY WINDOWS OR SIMILAR FEATURES TOTALING NOT MORE THAN 150 SQUARE FEET IN AREA MAY BE REDUCED TO NOT LESS THAN R-21. WHEN REDUCED, THE CAVITY SHALL BE FILLED (EXCEPT FOR REQUIRED VENT SPACES)
6. THE MAXIMUM VAULTED CEILING SURFACE AREA SHALL NOT BE GREATER THAN 50% OF THE TOTAL HEATED SPACE FLOOR AREA UNLESS AREA HAS A U-FACTOR NO GREATER THAN U-0.031. THE FACTOR OF 0.042 IS REPRESENTATIVE OF A VAULTED SCISSOR TRUSS. A 10 INCH DEEP RAFTER VAULTED CEILING WITH R-30 INSULATION IS U-0.0033 AND COMPLIES WITH THIS REQUIREMENT, NOT TO EXCEED 50% OF THE TOTAL HEATED SPACE FLOOR AREA.
7. SLIDING GLASS DOORS SHALL COMPLY WITH WINDOW PERFORMANCE REQUIREMENTS.
8. REDUCED AREA MAY NOT BE USED AS A TRADE OFF CRITERION FOR THERMAL PERFORMANCE OF ANY COMPONENT.

Drawn By:	MTM
Checked By:	JJC
Job Number.:	23-022

ROOF PLAN

[illegible]

Date: 06/06/23

Drawing No:

A4.0

1. EXISTING WOOD SIDING TO REMAIN. REPAINT TO APPROVED COLOR.
2. EXISTING ACCENT TRIMS. REPAINT TO APPROVED COLOR.
3. EXISTING WAINSCOT ACCENT TRIM. REPAINT.
4. EXISTING STAIRS. CLEAN & REFINISH TO APPROVED COLOR.
5. METAL RAIL. REPAINT.
6. EXISTING DIAGONAL CORBLE. REPAINT.
7. EXISTING LOUVER. REPAINT.
8. PATCH EXTERIOR WALL TO MATCH EXISTING. PAINT TO MATCH WALL.
9. 24" W X 12" H CRAWL SPACE LOUVER. PAINT TO MATCH SIDING.
10. EXISTING MASONRY CHIMNEY TO REMAIN. REPAIR/RESTORE REQUIRED. REFINISH TO APPROVED COLOR.
11. REPAINT EXISTING COLUMN TO APPROVED COLOR.
12. INSTALL NEW SIDING TO MATCH EXISTING. PAINT TO MATCH ADJACENT WALL SIDING.
13. NEW SHINGLE ROOFING TO MATCH NEIGHBORS. COLOR TO APPROVED BY OWNER.
14. NEW STAIRS WITH CODE COMPLAINT RAILING.
15. NEW RAMP WITH CODE COMPLAINT RAILING. SLOPE NOT TO EXCEED 8%.
16. EXISTING ROOF STEPDOWN.



INFILTRATION NOTES:

A. ALL WINDOWS SHALL COMPLY WITH ALL STATE AND LOCAL CODES INCLUDING BUT NOT LIMITED TO I.E.G. ENERGY EFFICIENCY, DESIGN PRESSURE, AND HISTORICAL REQUIREMENT.

- SHGG: 0.25 OR BETTER
- U-FACTOR 0.35 OR BETTER

B. WINDOWS SHALL BE ALUMINUM CLAD WOOD WINDOWS THAT COMPLY WITH THE FOLLOWING SPECIFICATIONS:

- MEETING RAILS MUST BE NO TALLER THAN 1 1/2"
- STILES SHALL BE NO WIDER THAN 2 1/2"
- TWO INCHES IN DEPTH IS REQUIRED BETWEEN FRONT FACE OF THE WINDOW TRIM AND THE FRONT FACE OF THE TOP WINDOW SASH.
- WINDOW TRACK COMPONENTS MUST BE PAINTED MATCH THE WINDOW TRIM OR CONCEALED BY A WINDOW SCREEN
- COLOR SELECTION MUST BE PRESENTED TO OHP STAFF; MANUFACTURER'S WHITE IS NOT PERMITTED.
- WINDOW TRIMS SHALL FEATURE TRADITIONAL DIMENSIONS CONSISTENT WITHIN THE HISTORIC DISTRICT.

C. EACH BEDROOM SHALL HAVE A MINIMUM WINDOW OPENING OF 5.7 SQ. FT. WITH A MINIMUM WIDTH OF 20" AND A MINIMUM HEIGHT OF 24" AND A SILL LESS THAN 44" ABOVE THE FINISHED FLOOR.

D. ALL WINDOWS WITHIN 10' OF THE FLOOR AND WITHIN 24" OF ANY DOOR ARE TO HAVE TEMPERED GLAZING

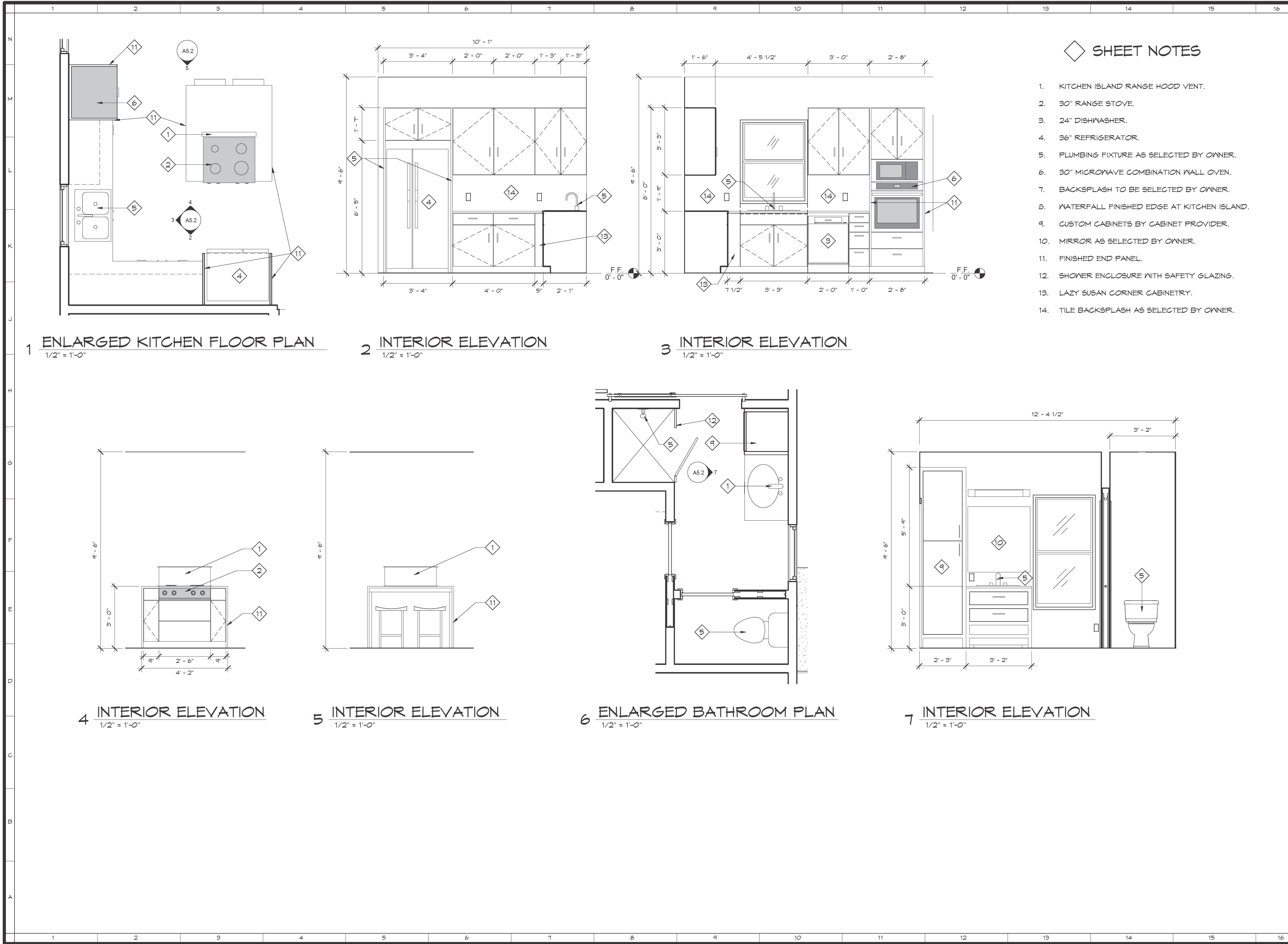
Diagram illustrating a window restoration project. The window is shown in a cross-section view, divided into two panes. The top pane is labeled "SINGLE-PANE" and the bottom pane is labeled "DOUBLE-PANE". The window is set into a wall. A dashed line indicates the "EXISTING WOOD WINDOW TO BE RESTORED". The window is shown with "INSULATED GLAZING". A note on the left states: "NOTES: RATER". A note on the right states: "δ n".

The diagram illustrates a window restoration project. At the top, a double-pane window is shown with dashed lines indicating the internal structure and the location of the original single-hung unit. Below this, a single-hung unit is shown being added to the existing double-pane window. The unit is labeled with a vertical dimension of 6' 0" and a horizontal dimension of 1' 0". The unit is shown being added to the existing double-pane window, which is labeled with a vertical dimension of 6' 0" and a horizontal dimension of 1' 0". The unit is shown being added to the existing double-pane window, which is labeled with a vertical dimension of 6' 0" and a horizontal dimension of 1' 0".

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SHEET NOTES

- KITCHEN ISLAND RANGE HOOD VENT.
- 30" RANGE STOVE.
- 24" DISHWASHER.
- 36" REFRIGERATOR.
- PLUMBING FIXTURE AS SELECTED BY OWNER.
- 30" MICROWAVE COMBINATION WALL OVEN.
- BACKSPLASH TO BE SELECTED BY OWNER.
- WATERFALL FINISHED EDGE AT KITCHEN ISLAND.
- CUSTOM CABINETS BY CABINET PROVIDER.
- MIRROR AS SELECTED BY OWNER.
- FINISHED END PANEL.
- SHOWER ENCLOSURE WITH SAFETY GLAZING.
- LAZY SUSAN CORNER CABINETRY.
- TILE BACKSPLASH AS SELECTED BY OWNER.

CONSTRUCTION DOCUMENTS
EXP. 9/30/23



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HISTORIC HOUSE REMODEL FOR
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KING WILLIAM HISTORIC DISTRICT
517 WICKES ST.
SAN ANTONIO, TEXAS 78210

Drawn By: MTM
Checked By: JJC
Job Number: 23-022

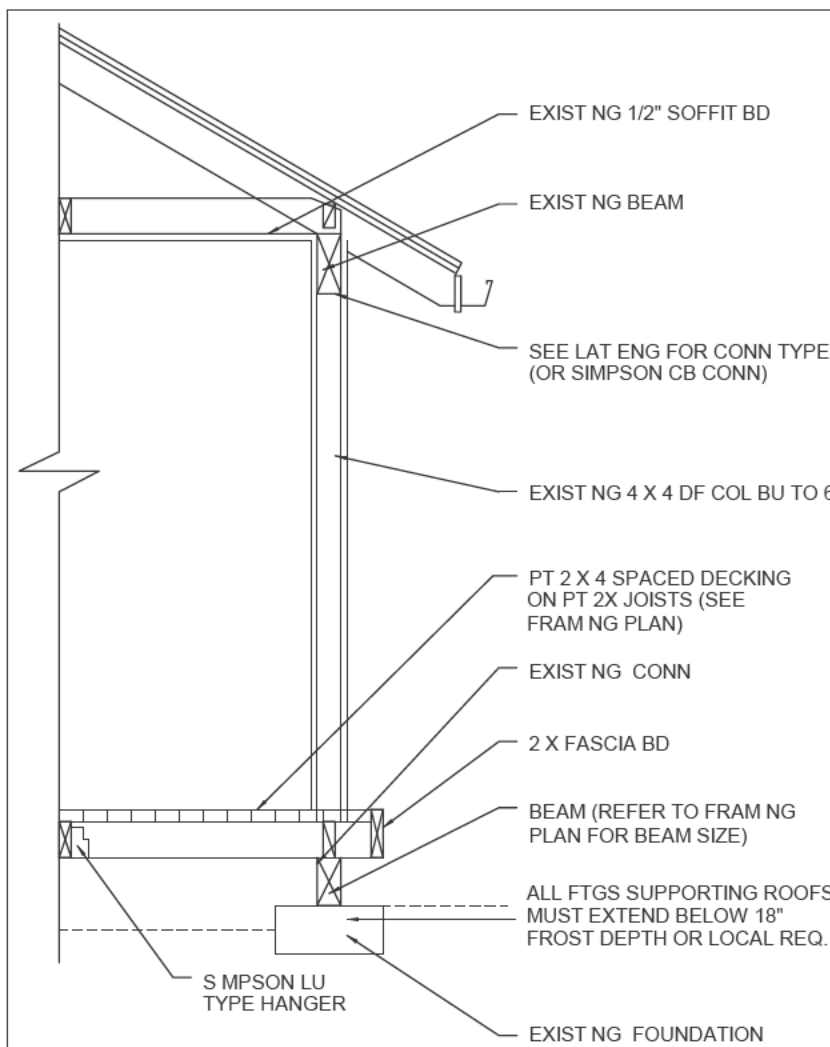
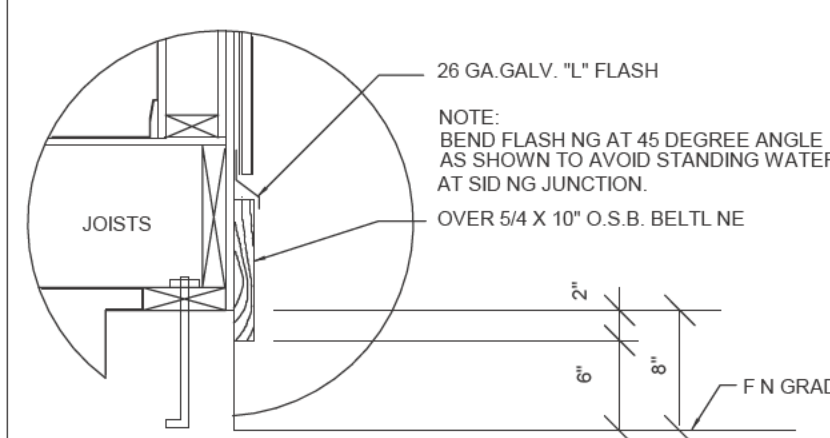
INTERIOR ELEVATIONS

No.	DATE	DESCRIPTION

Date: 06/06/23

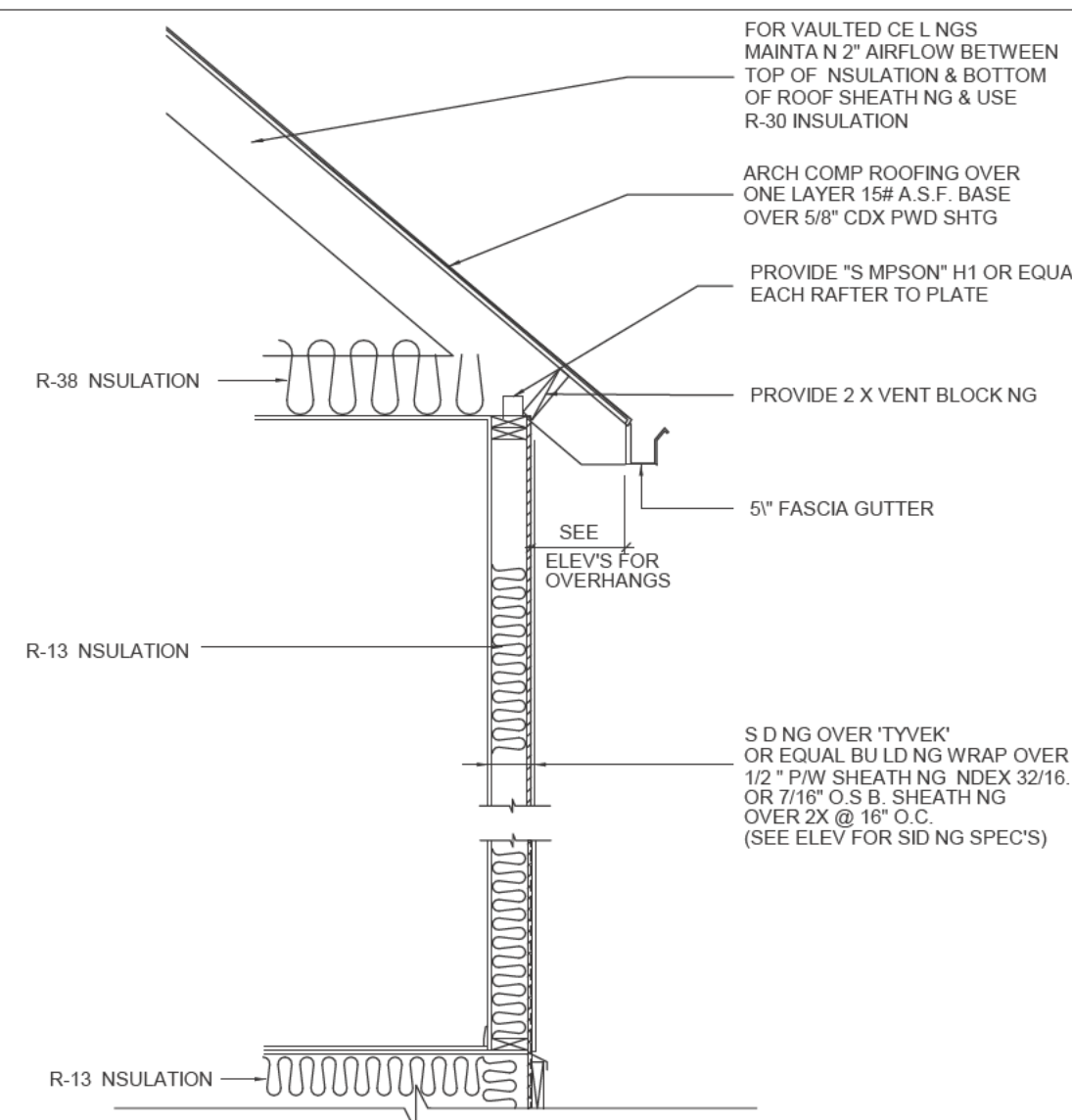
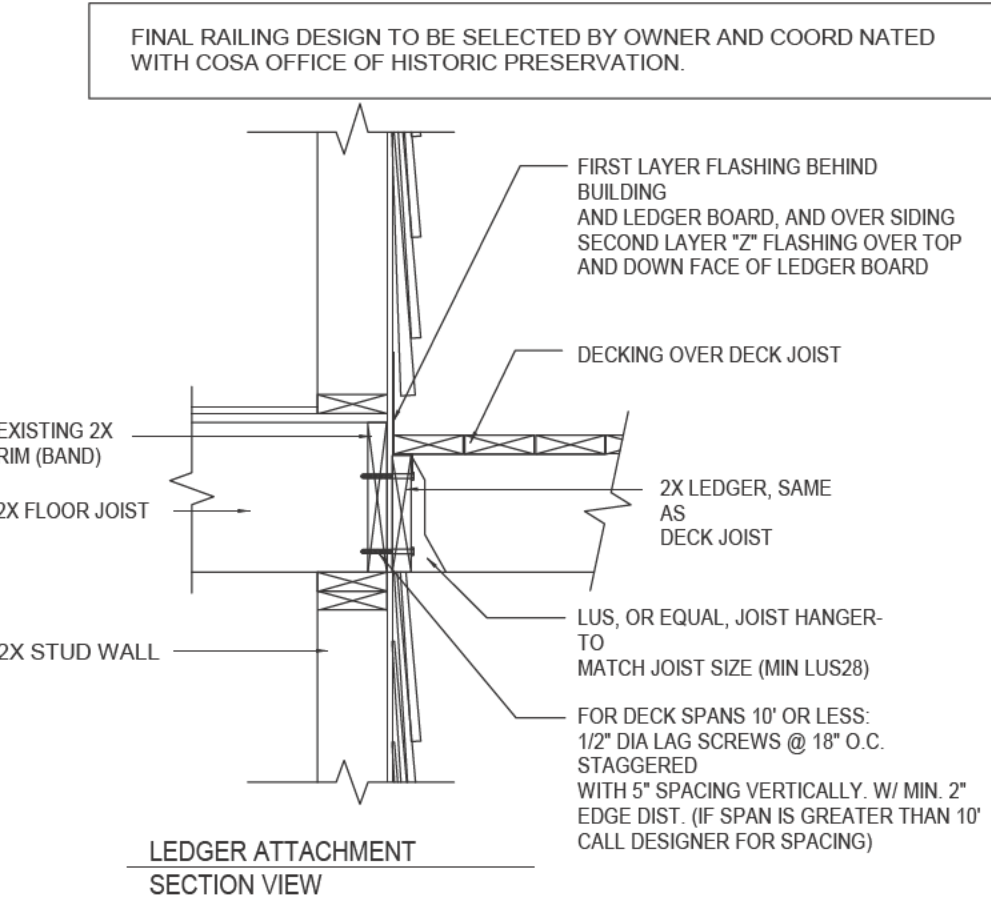
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A5.2

01 PORCH DETAIL
N.T.S.03 BELTLINE DETAIL
N.T.S.

INSULATION SPECIFICATIONS

- ALL EXPOSED INSULATION IS TO HAVE A FLAME SPREAD RATING OF LESS THAN 25 & A SMOKE DENSITY RATING OF LESS THAN 450.
- WINDOWS SHALL MEET REQUIRED U FACTORS UNLESS INSTRUCTED OTHERWISE BY THE OFFICE OF HISTORIC PRESERVATION.
- SEE SECTIONS FOR MINIMUM INSULATION REQUIREMENTS.

04 TYPICAL WALL DETAIL
N.T.S.05 NOT USED
N.T.S.06 DECK DETAILS
N.T.S.SECTION R404
LIGHTING

ALL PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LIGHTING SOURCES.

THE BUILDING OFFICIAL SHALL BE NOTIFIED IN WRITING AT THE FINAL INSPECTION THAT ALL PERMANENTLY INSTALLED LIGHTING FIXTURES ARE HIGH-EFFICACY LIGHTING SOURCES.

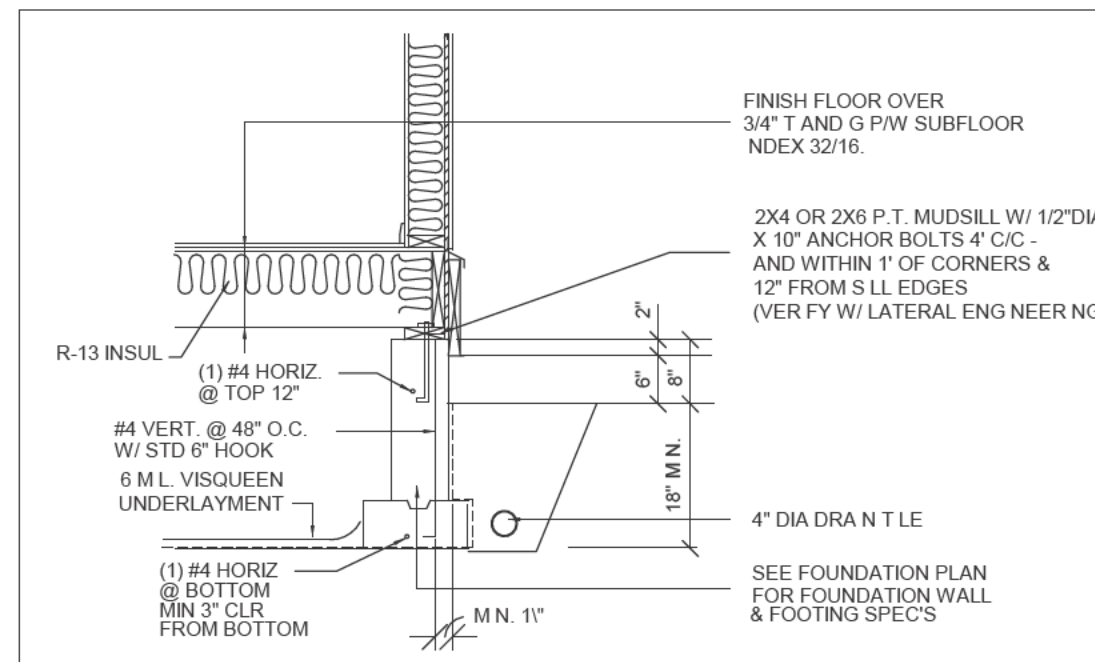
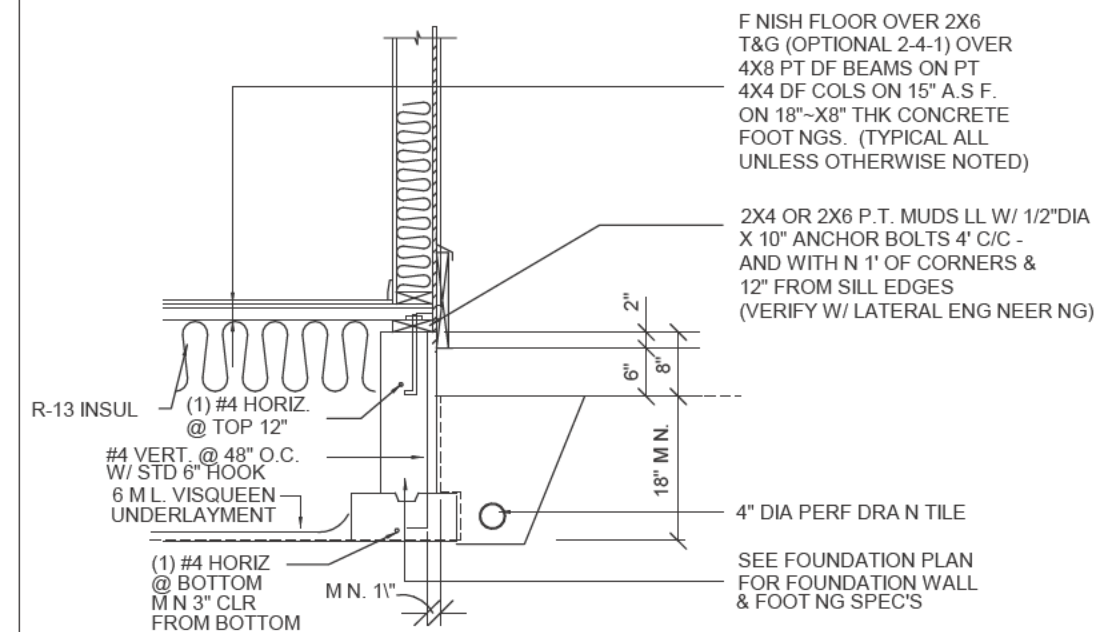
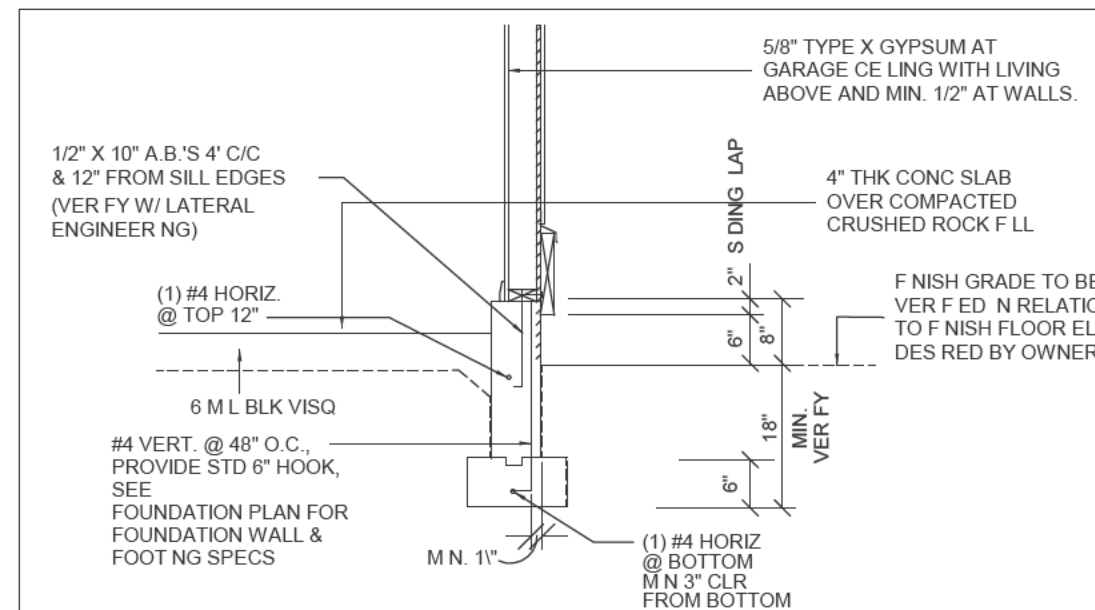
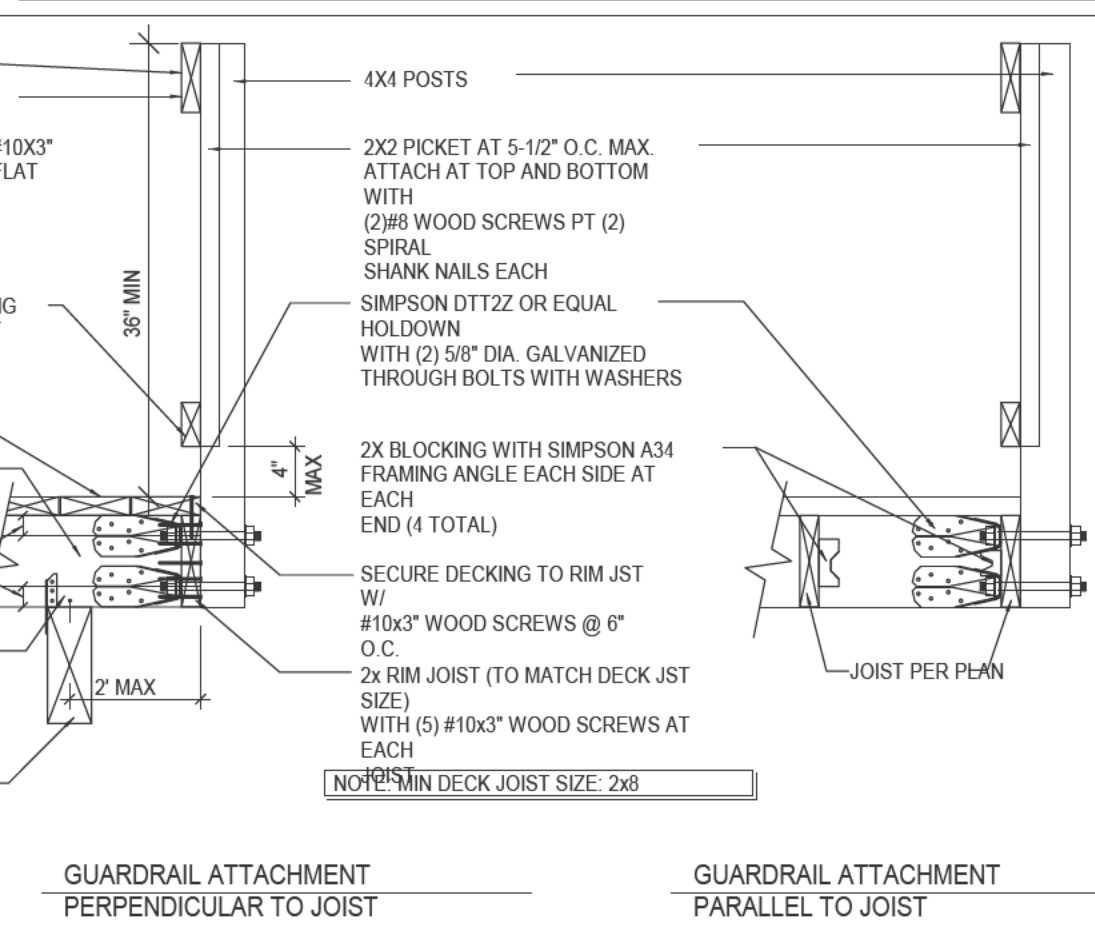
07 JOISTED FOOTING DETAIL
N.T.S.08 PORT & BEAM FOOTING DETAIL
N.T.S.09 WALL SLAB DETAIL
N.T.S.10 POST BM CONNECTION DETAIL
N.T.S.

TABLE 602.3(1) FASTENER SCHEDULE FOR STRUCTURAL MEMBERS

DESCRIPTION OF BUILDING ELEMENTS	NO. & TYPE OF FASTENER ^{a,b,c,d}	SPACING OF FASTENERS
JOIST TO SILL OR G RDER, TOE NA L	3-8d	—
1\" X 6\" SUBFLOOR OR LESS TO EACH JOIST, FACE NA L	2-8d 2 STAPLES, 1\"	—
2\" SUBFLOOR OR LESS TO G RDER, BLIND AND FACE NA L	2-16d	—
SOLE PLATE TO JOIST, SOLID DECK, OR BLOCKING, FACE NA L	16d	16\" O.C.
TOP OR SOLE PLATE TO STUD, END NA L	2-16d	—
STUD TO SOLE PLATE, TOE NA L	3-8d OR 2-16d	—
DOUBLE STUDS, FACE NA L	10d	24\" O.C.
DOUBLE TOP PLATES, FACE NA L	10d	24\" O.C.
SOLE PLATE TO JOIST, SOLID DECK, OR BLKG AT BRACED WALL PANELS	3-16d per 16\"	—
DBL TOP PLATES, M.N. 48\" OFFSET OF END JO NTS, FACE NA L N LAPPED AREA	8-16d	—
BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOE NA L	3-8d	—
R.N. JOIST TO TOP PLATE, TOE NA L	8d	6\" O.C.
TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS, FACE NA L	2-16d	—
PRESSURE TREATED WOOD	ZINC COATED GALV.	—
BU LT-UP HEADER, TWO PIECES WITH 1\" SPACER	16d	16\" O.C. ALONG EA EDGE
CONT NUED HEADER, TWO P ECES	16d	16\" O.C. ALONG EA EDGE
CEILING JOISTS TO PLATE, TOE NA L	3-8d	—
CONT NUOUS HEADER TO STUD, TOE NA L	4-8d	—
CEILING JOIST, LAPS OVER PARTITIONS, FACE NA L	3-10d	—
CEILING JOIST TO PARALLEL RAFTERS, FACE NA L	3-10d	—
RAFTER TO PLATE, TOE NA L	2-16d	—
1\" BRACE TO EACH STUD AND PLATE, FACE NA L	2-8d	—
BU LT-UP CORNER STUDS	2 STAPLES, 1\"	—
BU LT-UP GIRDERS AND BEAMS, 2-INCH LUMBER LAYERS	10d	24\" O.C.
2\" PLANKS	2-16d	—
ROOF RAFTERS TO R DGE, VALLEY OR HIP RAFTERS:		
TOE NA L	4-16d	—
FACE NA L	3-16d	—
RAFTER TIES TO RAFTERS, FACE	3-8d	—

DESCRIPTION OF BUILDING MATERIALS	DESCRIPTION OF FASTENER <small>b,c,d,e</small>	SPACING OF FASTENERS	
		EDGES (N.) ¹	INTERMEDIATE SUPPORTS ^{2,f,g} (IN.)
PLYWOOD AND WOOD STRUCTURAL PANELS, SUBFLOOR, ROOF AND WALL SHEATHING TO FRAM NG, AND PARTICLEBOARD WALL SHEATH NG TO FRAMING			
5/16"-1/2"	6d COMMON NAIL (SUBFLOOR, WALL) 8d COMMON NA L (ROOF)	6	12 ²
19/32"-1"	8d COMMON NA L	6	12 ²
1 1/8"-1 1/4"	10d COM NAIL OR 8d DEFRMD NAIL	6	12
OTHER WALL SHEATH NG ^h			
1/2" REGULAR CELLULOSIC FIBERBOARD SHEATH NG	1" GALVANIZED ROOFING NA L, 6d COM NA L, STAPLE 16 GA., 1" LONG	3	6
1/2" STRUCTURAL CELLULOSIC FIBERBOARD SHEATH NG	1" GALVANIZED ROOFING NA L, 8d COM NA L, STAPLE 16 GA., 1" LONG	3	6
25/32" STRUCTURAL CELLULOSIC FIBERBOARD SHEATH NG	1" GALVANIZED ROOFING NA L, 8d COM NA L, STAPLE 16 GA., 1" LONG	3	6
1/2" GYPSUM SHEATHING	1" GALVANIZED ROOFING NA L, 6d COM NA L, STAPLE GALVANIZED, 1" LONG, 1" SCREWS, TYPE W OR S	4	8
5/8" GYPSUM SHEATH NG	1" GALVANIZED ROOFING NA L, 8d COM NA L, STAPLE GALVANIZED, 1" LONG, 1" SCREWS, TYPE W OR S	4	8
PLYWOOD AND WOOD STRUCTURAL PANELS, COMBINATION SUBFLOOR UNDERLAYMENT TO FRAM NG			
3/4" AND LESS	6d DEFORMED NA L OR 8d COM NA L	6	12
7/8"-1"	8d COM NA L OR 8d DEFORMED NA L	6	12
1 1/8"-1 1/4"	10d COM NA L OR 8d DEFORMED NAIL	6	12

FOR SL: 1 NCH = 25.4 MM, 1 FOOT = 304.8 MM, 1 MPH = 1.609 KMH.

- ALL NAILS ARE SMOOTH-COMMON, BOX OR DEFORMED SHANKS EXCEPT WHERE OTHERWISE STATED. NAILS USED FOR FRAMING AND SHEATHING CONNECTIONS SHALL HAVE MINIMUM AVERAGE BENDING YIELD STRENGTHS AS SHOWN: 80 ksi (551 MPa) FOR SHANK DIAMETER OF 0.192\" (24 COMMON NA L), 90 ksi (620 MPa) FOR SHANK DIAMETERS LARGER THAN 0.142\" BUT NOT LARGER THAN 0.177\", AND 100 ksi (689 MPa) FOR SHANK DIAMETERS OF 0.142\" OR LESS.
- STAPLES ARE 16 GAUGE WIRE AND HAVE A MINIMUM 7/16\" NOMINAL O.D. CROWN WIDTH.
- NAILS SHALL BE SPACED AT NOT MORE THAN 6 INCHES O.C. AT ALL SUPPORTS WHERE SPANS ARE 48 INCHES OR GREATER.
- FOUR FOOT-BY-8-FOOT OR 4-FOOT-BY-8-FOOT PANELS SHALL BE APPLIED VERTICALLY.
- SPACING OF FASTENERS NOT INCLUDED IN THIS TABLE SHALL BE BASED ON TABLE 602.3(2).
- FOR REGIONS HAVING BASIC WIND SPEED OF 110 MPH OR GREATER, 8d DEFORMED NAILS SHALL BE USED FOR ATTACHING PLYWOOD AND WOOD STRUCTURAL PANEL ROOF SHEATHING TO FRAMING WITH MINIMUM 48-INCH DISTANCE FROM GABLE END WALLS. IF MEAN ROOF HEIGHT IS MORE THAN 25', UP TO 35' MAXIMUM.
- FOR REGIONS HAVING BASIC WIND SPEED OF LESS THAN 110 MPH, NAILS FOR ATTACHING WOOD STRUCTURAL PANEL ROOF SHEATHING TO GABLE END WALL FRAMING SHALL BE SPACED 6\" O.C. WHEN BASIC WIND SPEED IS GREATER THAN 100 MPH, NAILS FOR ATTACHING PANEL ROOF SHEATHING TO INTERMEDIATE SUPPORTS SHALL BE SPACED 6\" O.C. FOR MINIMUM 48\" DISTANCE FROM RIDGES, EAVES AND GABLE END WALLS, AND 4\" O.C. TO GABLE END WALL FRAMING.
- GYPSUM SHEATHING SHALL CONFORM TO ASTM C 79 AND SHALL BE INSTALLED IN ACCORDANCE WITH GA 253. FIBERBOARD SHEATHING SHALL CONFORM TO EITHER AIA 194.1 OR ASTM C 208.
- SPACING OF FASTENERS ON FLOOR SHEATHING PANEL EDGES APPLIES TO PANEL EDGES SUPPORTED BY FRAMING MEMBERS AND AT ALL ROOF PLANE PERIMETERS ONLY. SPACING OF FASTENERS ON ROOF SHEATHING PANEL EDGES APPLIES TO PANEL EDGES SUPPORTED BY FRAMING MEMBERS AND AT ALL ROOF PLANE PERIMETERS. BLOCKING OF ROOF OR FLOOR SHEATHING PANEL EDGES PERPENDICULAR TO THE FRAMING MEMBERS SHALL NOT BE REQUIRED EXCEPT AT INTERSECTION OF ADJACENT ROOF PLANES. FLOOR AND ROOF PER METER SHALL BE SUPPORTED BY FRAMING MEMBERS OR SOLID BLOCKING.
- INTERIOR NON-BRACED WALL LINES MAY BE NAILED WITH A MINIMUM 4-10d NAILS.

TRUSS NOTE

SUBMIT TRUSS DESIGN FOR ENGINEER PRIOR TO FABRICATION & VERIFY LOCATION OF G RDER TRUSSES WITH TRUSS COMPANY PRIOR TO FORMING FOUNDATION WALLS AS TO PROVIDE FOR ADDITIONAL LOADING FROM VARYING TRUSS DESIGN.

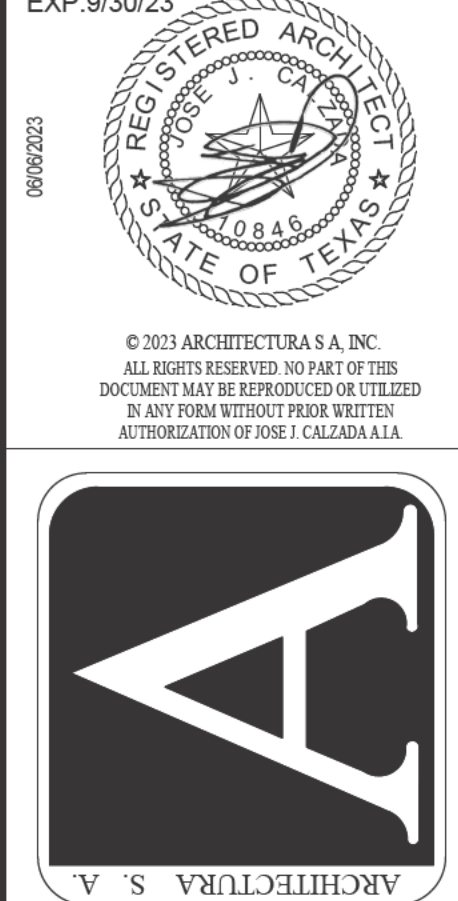
VERIFY ALL TRUSS SPANS & CONFIGURATIONS ON JOB SITE PRIOR TO FABRICATION.

FRAMING NOTES

- ALL EXTERIOR WALL AND BEARING WALL OPENINGS TO HAVE 4x12 HEADERS UNLESS OTHERWISE INDICATED.
- JOISTS THAT ARE ATTACHED TO FLUSH BEAMS ARE TO BE HUNG WITH \"SIMPSON\" LUS TYPE OR EQUIV.
- DOUBLE JOISTS THAT ARE ATTACHED TO FLUSH BEAMS ARE TO BE HUNG WITH \"SIMPSON\" LUS TYPE OR EQUIV.
- PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS OVER.
- PROVIDE FIBERLOCKING, DRAFTSTOPS & FIRESTOPS AS PER LOCAL CODES & SEC R802.8.
- LUMBER SPECIES:
 - A. POSTS, BEAMS, HEADERS NO 2 DOUG F R
 - JOISTS AND RAFTERS
 - B. SILL S, PLATES, BLOCKING NO 3 DOUG F R
 - BRIDGING, ETC.
 - C. STUDS
 - D. POST AND BEAM DECKING STUD GRADE D F
 - E. PLYWOOD SHEATHING UTILITY GRADE D F
 - F. GLU-LAM BEAMS 12\" CDX PLY, 3216
 - G. 2x400, DRY ADH.
- NOTCHES IN SOLID LUMBER JOISTS, RAFTERS, AND BEAMS SHALL NOT EXCEED ONE-SIXTH OF THE DEPTH OF THE MEMBER. SHALL NOT BE LONGER THAN ONE-THIRD OF THE DEPTH OF THE MEMBER AND SHALL NOT BE LOCATED IN THE MIDDLE ONE-THIRD OF THE SPAN. NOTCHES AT THE ENDS OF THE MEMBER SHALL NOT EXCEED ONE-FOURTH THE DEPTH OF THE MEMBER. THE TENSION SIDE OF MEMBERS 4\" (102mm) OR GREATER NOMINAL THICKNESS SHALL NOT BE NOTCHED EXCEPT AT ENDS OF THE MEMBERS. THE DIAMETER OF HOLES BORED OR CUT INTO MEMBERS SHALL NOT EXCEED ONE-THIRD THE DEPTH OF THE MEMBER. HOLES SHALL NOT BE CLOSER THAN 2\" TO THE TOP OR BOTTOM OF THE MEMBER, OR TO ANY OTHER HOLE LOCATED IN THE MEMBER. WHERE THE MEMBER IS ALSO NOTCHED, THE HOLE SHALL NOT BE CLOSER THAN 2\" (51mm) TO THE NOTCH.
- STUDS IN AN EXTERIOR WALL OR LOAD-BEARING PARTITIONS SHALL BE PERMITTED TO BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25% OF ITS WIDTH. STUDS IN NON-LOAD-BEARING PARTITIONS SHALL BE PERMITTED TO BE NOTCHED TO A DEPTH NOT TO EXCEED 40% OF A SINGLE STUD WIDTH. STUDS SHALL BE PERMITTED TO BE BORED OR DRILLED, PROVIDED THAT THE DIAMETER OF THE RESULTING HOLE IS NO GREATER THAN 40% OF THE STUD WIDTH. THE EDGE OF THE HOLE IS NO CLOSER THAN 8\" (151mm) TO THE EDGE OF THE STUD, AND THE HOLE IS NOT LOCATED IN THE SAME SECTION AS A CUT OR NOTCH.
- INSTALL ALL HORIZONTAL MEMBERS WITH CROWN UP.
- ALL MEMBERS NEAR NG SHALL BE ACCURATELY CUT AND ALIGNED SO THAT FULL BEARING IS PROVIDED WITHOUT USE OF SHIMS. BEARING POSTS SHALL HAVE FULL BLOCKING OR SUPPORT UNDER.
- ALL JOISTS SHALL HAVE A MINIMUM OF 2\" BEARING AT SUPPORTS. LAPPING JOISTS SHALL HAVE 6\" LAPS CENTERED OVER INTERIOR SUPPORTS.
- LEDGERS AND STUD WALL FOUNDATION SILL PLATES SHALL BE BOLTED TO CONCRETE WITH ANCHOR BOLTS OF SIZE AND MINIMUM SPACING AS SHOWN ON DRAWINGS. AT LEAST TWO BOLTS SHALL BE PROVIDED FOR EACH PIECE OF ONE BOLT WITH N 1/2\" OF EACH END.
- ALL PLYWOOD WALL SHEATHING SHALL BE APPLIED AS FOLLOWS: CENTER VERTICAL JOINTS OVER STUDS AND CENTER HORIZONTAL JOINT OVER 2\" BLOCKING OR PLATE. NAIL TOP OF PANELS TO DOUBLE TOP PLATE AND NA L BOTTOM OF PANELS TO ANCHORED SILL PLATE. APPLY GYPSUM BOARD SO THAT END JOINTS OR ADJACENT COURSES DO NOT OCCUR AT THE SAME STUD.

FOUNDATION NOTES

- FOOTINGS ARE TO BEAR ON UNDISTURBED LEVEL SOLE OF ANY ORGANIC MATERIAL AND STEPPED AS REQUIRED TO MAINTAIN THE REQUIRED DEPTH BELOW THE FINAL GRADE.
- SOIL BEARING PRESSURE ASSUMED TO BE 1500 PSF.
- ANY FLOOR UNDER GRADE SUPPORTED SLABS TO BE A MINIMUM OF 4\" GRANULAR MATERIAL COMPACTED TO 95%.
- CONCRETE TO DEVELOP A MIN. OF 3000 PSI AT 28 DAYS WITH A MIN. OF 8 SACKS OF CEMENT PER YARD AND A MAXIMUM SLUMP OF 4\".
- CONCRETE SLABS TO HAVE CONTROL JOINTS AT 25' (MAXIMUM) INTERVALS EA. WAY.
- CONCRETE SIDEWALKS TO HAVE 3/4\" TOoled JOINTS AT 5' O.C. (MINIMUM).
- REINFORCING STEEL TO BE A-615 GRADE 40. WELDED WIRE MESH TO BE A-185.
- EXCAVATE THE SITE TO PROVIDE A MINIMUM OF 18\" CLEARANCE UNDER ALL G RDER.
- COVER ENTIRE CRAWLSPACE WITH 6 M.L. BLACK \"VISQUEEN\" AND EXTEND UP FLOOR WALLS TO P.T. MUDDILL.
- PROVIDE A MINIMUM OF 1 SQ FT OF VENTILATION AREA FOR EACH 150 SQ FT OF CRAWLSPACE AREA. VENTS ARE TO BE CLOSABLE WITH 1/4\" OPENINGS IN CORROSION RESISTANT SCREEN.
- ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED OR PROTECTED WITH 30# ROLL ROOFING.
- BEAM POCKETS IN CONCRETE TO HAVE 1/2\" ASPHALT AT SIDES AND ENDS WITH A MINIMUM BEARING OF 3\".
- PROVIDE CRAWLSPACE DRAIN AS PER SEC. R405.1 OF ORSC.
- THE GRADE AWAY FROM FND WALLS SHALL FALL 6\" MIN. WITHIN 1' FIRST 10'.
- SLOPE FOR PERMANENT FILLS AND CUT SLOPES SHALL NOT EXCEED 2 UNITS HORIZ. TO 1 UNIT VERT.
- BACKFILL SHALL NOT BE PLACED UNTIL WALL HAS SUFFICIENT STRENGTH AND HAS BEEN ANCHORED TO FLOOR ABOVE ON WALLS WITH MORE THAN 4\" UNBALANCED BACKFILL.
- BUILDER SHALL BE RESPONSIBLE FOR SUPPORT OF ALL TEMPORARY EMBANKMENTS AND EXCAVATIONS.
- FOOTINGS SHALL BE FOUND ON FIRM, UNDISTURBED NATIVE, FREE DRAINING SOILS. CONDITIONS FOUND TO BE OTHERWISE SHALL BE REPORTED TO OWNER.
- ALL GROUND OVER WHICH FOOTINGS AND SLABS ON GRADE ARE TO BE PLACED SHALL BE FREE OF EXPANSIVE OR COMPRESSIBLE DEBRIS AND ORGANIC MATERIAL.
- FOOTINGS AND SLABS ON GRADE CONCRETE SHALL NOT BE PLACED ON MUDDY OR FROZEN GROUND. SUB-GRADE FOR SLABS ON GRADE WHERE VAPOR BARRIERS NOT REQUIRED SHALL BE DAMP AT TIME OF CONCRETE PLACEMENT.
- WOOD SOLE PLATES AT ALL EXTERIOR WALLS ON MONOLITHIC SLABS, AT ALL INTERIOR BRACE WALL PANELS ON MONOLITHIC SLABS AND AT ALL WOOD SILL PLATES SHALL BE ANCHORED TO THE FOUNDATION WITH M 1/2\"x12\" BOLTS AT 6\" O.C. A 2\"-x16\" WASHER SHALL BE TIGHTENED ON EACH ANCHOR BOLT.
- INSTALL MIN (2) BOLTS PER PLATE WITH ONE BOLT MAX 12\" FROM EACH END OF PLATE SECTION.
- FOUNDATION WALLS BELOW GRADE SHALL BE DAMPROOFED FROM TOP OF THE FOOTING TO FINISHED GRADE WITH ANY OF THESE OPTIONS: 1) BITUMINOUS COATING; 2) 18\" COATING OF SURFACE BONDING CEMENT COMPLYING WITH ASTM C 897.3) 55 LB ROLL ROOFING; 4) 6 M.L. POLYETHYLENE; 5) 40 M.L. FLEXIBLE POLYMER CEMENT.



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Drawn By: MTM
Checked By: JJC
Job Number: 23-022

DETAILS

No.	DATE	DESCRIPTION

Date: 06/06/23

Drawing No:

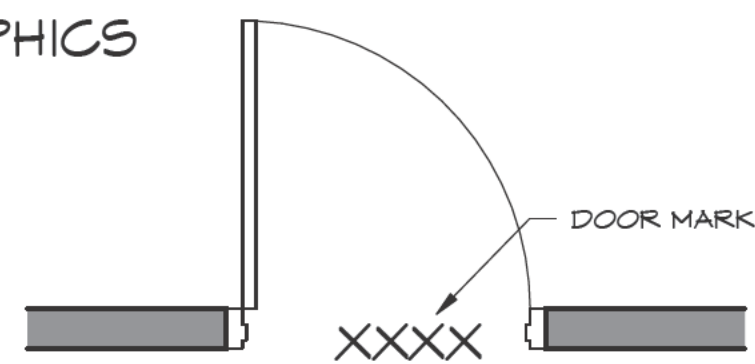
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CONSTRUCTION MATERIALS GENERAL NOTES:

1. ALL DIMENSION ARE TO THE FACE OF WOOD STUDS, FACE OF C.M.U., EXTERIOR WALL FACES OR COLUMN CENTER LINES UNLESS SPECIFIED OTHERWISE.
2. PROVIDE SOLID WOOD BLOCKING AT ALL DRYWALLS BEHIND PLUMBING FIXTURES, ACCESS DOORS, HANDRAILS, GRAB BARS, WOOD SHELVING, LAVATORIES, CABINTRY, ETC. AS REQUIRED TO RIGIDLY ANCHOR EACH ITEM. CONTRACTOR SHALL VERIFY & COORDINATE BLOCKING.
3. INCREASE WALL THICKNESS AS REQUIRED AT PLUMBING CHASES, MECHANICAL & ELECTRICAL PANELS.
4. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS. CONTRACTOR TO NOTIFY ENGINEER OF RECORD IMMEDIATELY IF SITE CONDITIONS OR DIMENSIONS DISAGREE WITH INFORMATION SHOWN ON THE DRAWINGS. WORK IS NOT PROCEED UNTIL SUCH DIFFERENCES ARE RESOLVED. ALL DIMENSION ARE BASED UPON EXISTING CONDITIONS, SOME MINOR VARIATIONS ARE TO BE EXPECTED. THE CONTRACTOR SHALL LAY OUT ALL NEW CONSTRUCTION TO COORDINATE THESE DRAWINGS WITH ACTUAL CONDITIONS.
5. CONTINUE WALL TYPE AND FINISHES ABOVE ALL DOORS AND WINDOWS.
6. ALL FOAM PLASTICS USED IN BUILDING CONSTRUCTION SHALL HAVE A FLAME SPREAD RATING OF NOT MORE THAN 75 AND SHALL HAVE A SMOKE DEVELOPED RATING OF NOT MORE THAN 450 WHEN TESTED IN THE MAXIMUM THICKNESS INTENDED FOR USE IN ACCORDANCE WITH U.B.C. STANDARD #42-1.
NOTE: OR IN ADDITION TO ANY OTHER APPLICABLE PROVISIONS IN GOVERNING CODES.
7. ALL WOOD BLOCKING AND PLYWOOD USED INSIDE THE BUILDING SHALL BE PRESSURE-TREATED FIRE RETARDANT WOOD. ALL WOOD BLOCKING OUTSIDE THE BUILDING ENVELOPE SHALL BE MOLMANIZED. PROVIDE FIRE-RETARDANT TREATED WOOD BLOCKING WHERE REQUIRED TO SUPPORT ANY ITEMS MOUNTED TO WALLS, INCLUDING SINKS, CASEWORK, AND HAND RAILS.
8. SIGNS LOCATIONS SHALL BE VERIFIED WITH THE BUILDING INSPECTOR DURING CONSTRUCTION AND WITH BUILDING CODE.
9. DOOR REMARKS:
 - A. CAULK BOTH SIDES OF ALL DOOR FRAMES AND GLASS FRAMES, WINDOWS AND LOUVERS.
 - B. COORDINATE DOOR DETAILS, WALLTYPES, AND WALL FINISHES FOR JAMB THICKNESS AND WALL MATERIALS.
10. SEAL ALL OPENINGS THROUGH WALLS OF MECHANICAL ROOMS AND EXIT CORRIDORS INCLUDING BOTH SIDES OF COLUMNS, UNDER DECK CORRUGATIONS, PIPE CHASES, ETC.
11. BUILDING INSULATION NOTE:
ALL INSULATION MATERIALS INCLUDING FACINGS, SUCH AS VAPOR BARRIERS OR BREATHER PAPERS INSTALLED WITHIN FLOOR-CEILING ASSEMBLIES, ROOF-CEILING ASSEMBLIES, WALLS, CRANKLS PACES, OR ATTICS SHALL HAVE A FLAME-SPREAD RATING NOT TO EXCEED 25 AND A SMOKE DENSITY NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH U.B.C. STANDARD #42-2. ALL FOAM INSULATION SHALL BE SEPARATED FROM THE INTERIOR OCCUPIED SPACE WITH A 15-MINUTE THERMAL BARRIER.
12. MAKE ALLOWANCE FOR HORIZONTAL AND VERTICAL MOVEMENT WHEREVER INTERIOR PARTITIONS COME IN CONTACT WITH EXTERIOR WALLS OR STRUCTURAL COLUMNS.
13. ALL MATERIALS SHALL BE INSTALLED PER MANUFACTURE'S INSTRUCTIONS.

GRAPHICS



NEW DOOR



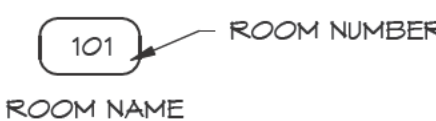
SHEET NOTE



ELEVATION HEIGHT INDICATOR



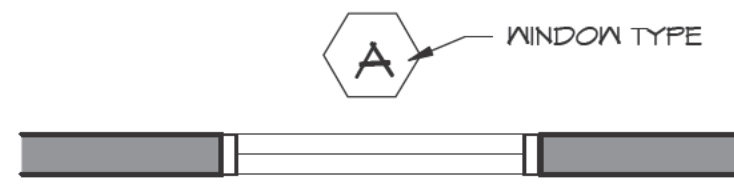
FINISHES



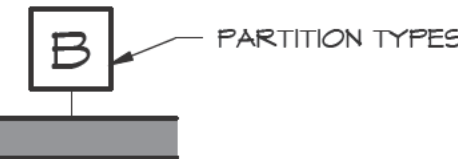
ROOM



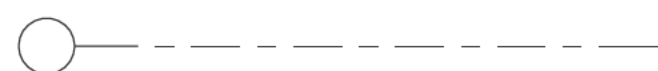
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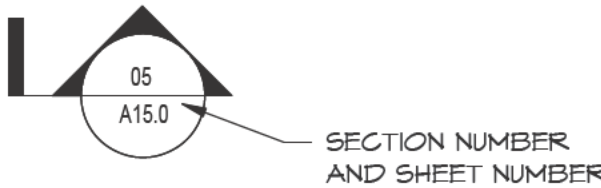
WINDOW



PARTITION TYPES



COLUMN REFERENCE GRIDS



SECTION



DETAIL



INTERIOR ELEVATION INDICATOR

GENERAL NOTES:

1. IN THE EVENT OF DISCREPANCIES BETWEEN THE DRAWINGS AND SPECIFICATIONS IN THIS PACKAGE, NOTIFY ARCHITECT OF RECORD IMMEDIATELY.
2. ARCHITECT OF RECORD SHALL NOT BE RESPONSIBLE OR HAVE CONTROL OR CHARGE OVER THE ACTS OR OMISSIONS, CONSTRUCTION MEANS, METHODS, TECHNOLOGIES, SEQUENCES, PROCEDURES, OR FOR THE SAFETY PRECAUTIONS AND PROGRAMS OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING WORK UNDER THIS CONTRACT.
3. CONTRACTOR IS RESPONSIBLE TO SEE THAT ALL WORK IN FIELD IS DONE IN ACCORDANCE W/ ALL CURRENT APPLICABLE NATIONAL STATE AND LOCAL CODES, ORDINANCES AND REQUIREMENTS BY GOVERNING AGENCIES, WHETHER OR NOT SAID CODES ORDINANCES, REQUIREMENTS, ETC. ARE SPECIFICALLY SHOWN ON DRAWINGS AND/OR CALLED FOR IN SPECIFICATIONS.
4. CONSTRUCTION MATERIAL, ASSEMBLIES AND PROCEDURES ARE TO COMPLY W/ LOCALLY ADOPTED BUILDING CODES AND SUPPLEMENTARY ORDINANCES. WHEN A CONFLICT OCCURS BETWEEN SUCH LOCAL CODE AND INFORMATION SHOWN ON THE PLANS, CONSULT COMPANY REPRESENTATIVE OR ARCHITECT FOR RESOLUTION PRIOR TO COMMENCING WORK.
5. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING JURISDICTIONS AS REQUIRED FOR INSPECTIONS AND SHALL PAY INSPECTION FEES ASSOCIATED WITH THE WORK.
6. THE G.C. SHALL APPLY FOR ALL PERMITS WHICH INVOLVE DRAWING SUBMITTAL AND PROCESSING: BUILDING, ELECTRICAL, MECHANICAL, PLUMBING, FIRE, AND ENVIRONMENTAL HEALTH PERMITS. THE GENERAL CONTRACTOR SHALL PICK UP THESE PERMITS AND PAY FOR THE PERMIT FEES.
7. THE GENERAL CONTRACTOR SHALL PROVIDE BARRICADES AND SAFETY SIGNS PER OSHA REQUIREMENTS, AND CONTROLS OF ALL NEW AND MODIFIED AIR, WATER, AND ELECTRICAL SYSTEMS.
8. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OVERALL CONSTRUCTION SITE CLEANLINESS, INCLUDING PROVISION OF A DEBRIS BOX WITH WEEKLY SERVICING, REMOVAL OF ALL CONTRACTOR / SUBCONTRACTOR REFUSE AND DEBRIS, AND SWEEPING OF THE ENTIRE YARD AREA AT THE COMPLETION OF THE WORK. UNLESS STATED OTHERWISE, ALL OTHER PROCEDURES, TESTING, MATERIALS AND EQUIPMENT SHOWN ON THE PLANS SHALL BE FURNISHED AND INSTALLED BY THE GENERAL CONTRACTOR.
10. DRAWINGS SHALL NOT BE SCALED. N.T.S. INDICATES "NOT TO SCALE" AND THE LISTED DIMENSION SHALL GOVERN.
11. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF DAMAGE TO THE WORK OF OTHER TRADES CAUSED BY HIS OPERATIONS. THE NATURE OF SUCH REPAIR WORK MUST RECEIVE THE PRIOR APPROVAL OF THE COMPANY REPRESENTATIVE.
12. CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS AND FACILITIES TO REMAIN THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL REPAIR AND/OR REPLACE AT CONTRACTOR'S EXPENSE, ANY EXISTING ITEMS AND FACILITIES TO REMAIN THAT ARE DAMAGED BY CONTRACTORS OPERATIONS TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
13. ANY CHANGES IN PLAN ARRANGEMENT OR DETAILING AND SPECIFIC INSTRUCTIONS FOR THE PROJECT WITHOUT PRIOR WRITTEN NOTIFICATION AND APPROVAL BY THE ENGINEER OF RECORD WILL VOID ANY OBLIGATIONS AND LIABILITIES SET FORTH BY THE OWNER AND THE ENGINEER OF RECORD.
14. IF ANY SUBSTITUTIONS ARE PROPOSED AND APPROVED FOR SPECIFIC MATERIAL OR EQUIPMENT, THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS WILL BE RESPONSIBLE FOR ALL COORDINATION INCLUDING HVAC, PLUMBING, ALTERNATIVE MATERIALS, AND ELECTRICAL.
15. ANY CONTRACTOR WHOSE WORK REQUIRES PENETRATION OF THE ROOFING SYSTEM SHALL COORDINATE W/ ROOFING CONTRACTOR TO INSURE ROOF WARRANTY.
16. CONSTRUCTION SHALL COMPLY TO ALL LOCAL CODE REQUIREMENTS AND GUIDELINES FOR BUILDING AND FACILITIES PER CURRENT CLEARANCES, ACCESSORIES, ETC.
17. ANY CONTRACTOR WHOSE WORK REQUIRES PENETRATION OR ATTACHMENT TO THE EXTERIOR FACADE SHALL FLASH, AND SEAL SUCH WORK TO INSURE WALL SYSTEM WARRANTY. ALL THRU-WALL PENETRATIONS THROUGH ICF WALL SHALL BE AGUAFLASHED.
18. DOOR HARDWARE HANDLES, KNOBS, PULLS, LATCHES, LOCKS, AND OTHER OPERATING DEVICES SHALL ME MOUNTED NO HIGHER THAN 38 INCHES ABOVE FINISH FLOOR AND HAVE HANDICAPPED ACCESSIBLE LEVER HANDLE HARDWARE, UNLESS OTHERWISE NOTED. THE FORCE REQUIRED TO ACTIVATE DOOR HARDWARE SHALL BE NO GREATER THAN 5.0 LB. OTHER ALLOWABLE HARDWARE DESIGNS INCLUDE BUT ARE NOT LIMITED TO PUSH-TYPE MECHANISMS, AND U-SHAPED HANDLES. INSTALL THESE ONLY WHEN SCHEDULED. WHEN SLIDING DOORS ARE FULLY OPEN, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES.
19. DOOR CLOSURES: IF A DOOR IS SCHEDULED TO HAVE A CLOSER, THE SNEEP PERIOD OF THE CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 70 DEGREES, THE DOOR WILL TAKE AT LEAST THREE SECONDS TO MOVE TO A POINT OF APPROXIMATELY 3" FROM THE LATCH, MEASURED TO THE LEADING EDGE OF THE DOOR.

20. DOOR OPENING FORCE: THE MAXIMUM FORCE FOR PUSHING, OR PULLING OPEN A DOOR SHALL COMPLY WITH THIS PARAGRAPH. FOR HINGED DOORS: THE FORCE SHALL BE APPLIED PERPENDICULAR TO THE DOOR AT THE DOOR OR 30 INCHES FROM THE HINGED SIDE. WHICHEVER IS FARTHER FROM THE HINGE.

FOR SLIDING OR FOLDING DOORS:
THE FORCE SHALL BE APPLIED PARALLEL TO THE DOOR AT THE DOOR PULL OR LATCH.

A. EXTERIOR HINGED DOORS SHALL NOT EXCEED 8.5 LBF. LIGHT INCREASES IN OPENING FORCE SHALL BE ALLOWED WHERE 8.5 LBS IS INSUFFICIENT TO COMPENSATE FOR AIR PRESSURE DIFFERENTIALS.

21. CONTROLS AND OPERATING MECHANISMS.

A. GENERAL ALL CONTROLS AND DEVICES HAVING MECHANICAL OR ELECTRICAL OPERATING MECHANISMS WHICH ARE EXPECTED TO BE OPERATED BY OCCUPANTS, VISITORS, OR OTHER USERS OF A BUILDING OR FACILITY, SHALL COMPLY WITH TEXAS DEPARTMENT OF LICENSING AND REGULATIONS (TDLR) FOR HEIGHT LIGHT SWITCHES, ALARM ACTIVATING UNITS, VENTILATORS ELECTRICAL OUTLETS, ETC.

B. OPERATION, CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 8.0 LBF.

22. PROVIDE WOOD BLOCKING AT ALL SCHEDULED CABINETRY, WALL SHELVING, PLUMBING, FIXTURES, ACCESS DOORS, HANDRAILS AND GRAB BARS, ALL WOOD BLOCKING AND FURRING TO BE FIRE RETARDANT.

23. CONTRACTOR SHALL REFER TO ELECTRICAL DRAWINGS IN THESE DOCUMENTS FOR ALL WIRING AND CONNECTION SPECIFICATIONS, CIRCUITING, SWITCHING AND LIGHT FIXTURES.

24. REFER TO MECHANICAL DRAWINGS IN THESE DOCUMENTS FOR ALL INFORMATION REFERENCING DUCTWORK, DIFFUSER LOCATIONS, THERMOSTAT LOCATIONS, FIRE DAMPERS, ETC. OR ANY OTHER ITEMS MECHANICALLY RELATED.

25. CONTRACTOR SHALL COMPLY WITH ALL INTERNATIONAL ENERGY CONSERVATION CODE REQUIREMENTS AND PROVIDE ALL RELATED 3rd PARTY TESTING, DOCUMENTATION, FORMS AS REQUIRED FOR RESIDENTIAL ENERGY COMPLIANCE. HARD COPIES OF ALL DOCUMENTATION WILL BE PROVIDED TO ARCHITECT AND OWNER FOR REVIEW.

CONSTRUCTION DOCUMENTS

EXP. 9/30/23



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WILLIAM RESIDENCE

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Drawn By: MTM
Checked By: JJC
Job Number: 23-022

CONSTRUCTION NOTES

No.	DATE	DESCRIPTION

Date: 06/06/23

Drawing No:

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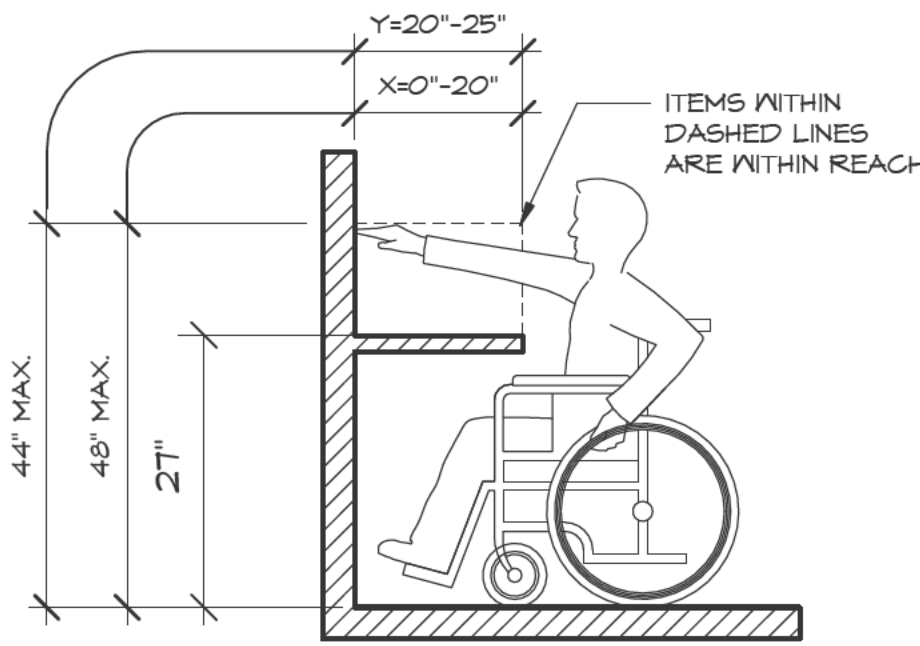
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AGING-IN-PLACE GUIDELINES

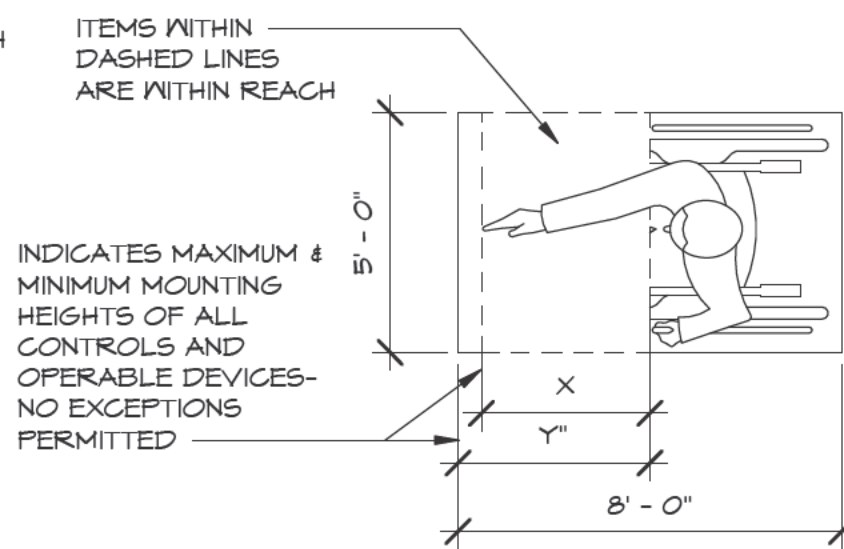
SPACE ALLOWANCES & REACH RANGES

FORWARD APPROACH
WHERE A FORWARD REACH IS UNOBSTRUCTED, THE HIGH FORWARD REACH SHALL BE 48 INCHES (1220 MM) MAXIMUM AND THE LOW FORWARD REACH SHALL BE 15 INCHES (380 MM) MINIMUM ABOVE THE FINISH FLOOR OR GROUND. WHERE A HIGH FORWARD REACH IS OVER AN OBSTRUCTION, THE CLEAR FLOOR SPACE SHALL EXTEND BENEATH THE ELEMENT FOR A DISTANCE NOT LESS THAN THE REQUIRED REACH DEPTH OVER THE OBSTRUCTION.

PARALLEL APPROACH
WHERE A CLEAR FLOOR OR GROUND SPACE ALLOWS A PARALLEL APPROACH TO AN ELEMENT AND THE SIDE REACH IS UNOBSTRUCTED, THE HIGH SIDE REACH SHALL BE 48 INCHES (1220 MM) MAXIMUM AND THE LOW SIDE REACH SHALL BE 15 INCHES (380 MM) MINIMUM ABOVE THE FINISH FLOOR OR GROUND. AN OBSTRUCTION SHALL BE PERMITTED BETWEEN THE CLEAR FLOOR OR GROUND SPACE AND THE ELEMENT WHERE THE DEPTH OF THE OBSTRUCTION IS 10 INCHES (255 MM) MAXIMUM.

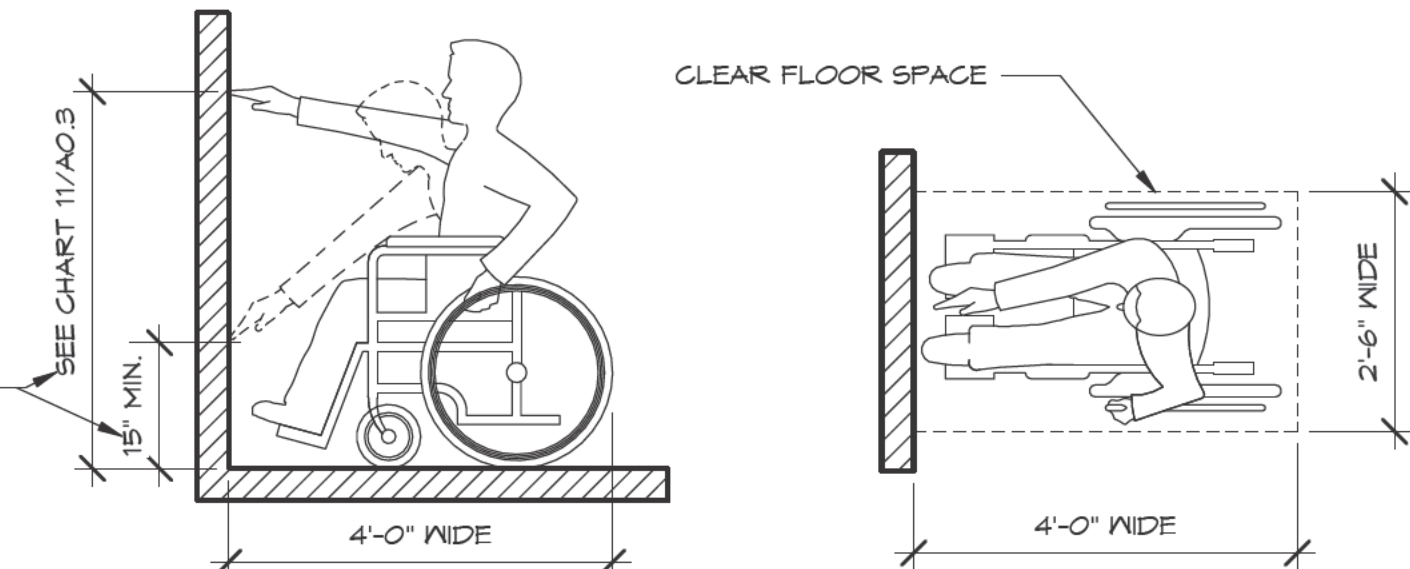


MAXIMUM FORWARD REACH OVER AN OBSTRUCTION FIG. 5 (B)



INDICATES MAXIMUM & MINIMUM MOUNTING HEIGHTS OF ALL CONTROLS AND OPERABLE DEVICES- NO EXCEPTIONS PERMITTED

INDICATES MAXIMUM & MINIMUM MOUNTING HEIGHTS OF ALL CONTROLS AND OPERABLE DEVICES- NO EXCEPTIONS PERMITTED



HIGH FORWARD REACH LIMIT FIG. 5 (A)

PROTRUDING OBJECTS

GENERAL
OBJECTS PROJECTING FROM WALLS (FOR EXAMPLE TELEPHONES) WITH THEIR LEADING EDGES BETWEEN 27" MIN. AND 80" MAX. ABOVE THE FINISHED FLOOR SHALL PROTRUDE NO MORE THAN 4" INTO WALKS, HALLS, CORRIDORS, PASSAGEWAYS OR AISLES. SEE FIG. 8 (A). OBJECTS JOINED WITH THEIR LEADING EDGES AT OR BELOW 27 IN. ABOVE THE FINISHED FLOOR MAY PROTRUDE ANY AMOUNT SEE FIG. 8 (A). (B). FREE-STANDING OBJECTS MOUNTED ON POSTS OR PYLONS MAY OVERHANG 12 IN. MAXIMUM FROM 27 IN. TO 80 IN. ABOVE THE GROUND FLOOR SEE FIG. 8 (C), (D). PROTRUDING OBJECTS SHALL NOT REDUCE THE CLEAR WIDTH OF AN ACCESSIBLE ROUTE OR MANEUVERING SPACE. SEE FIG. 8 (E).

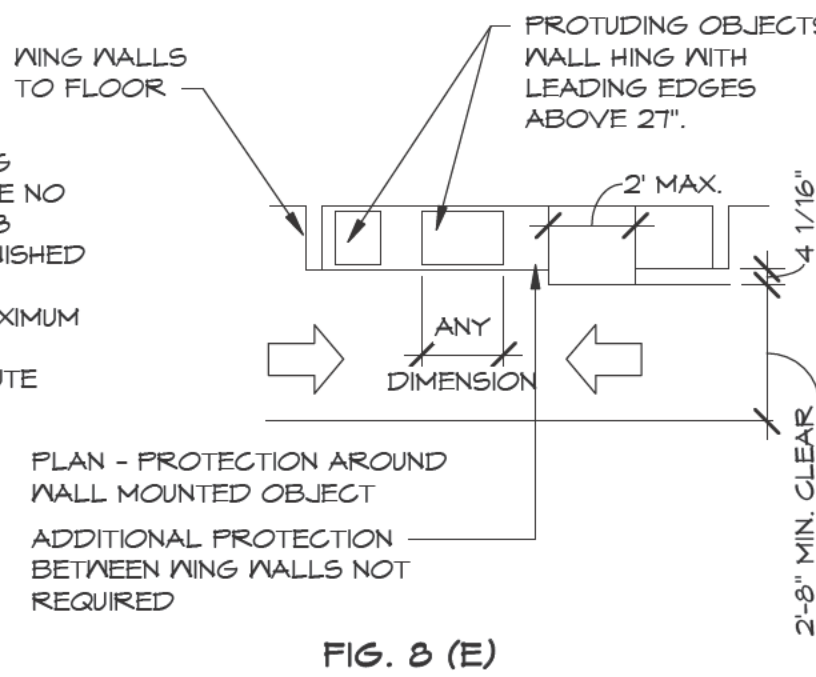


FIG. 8 (E)

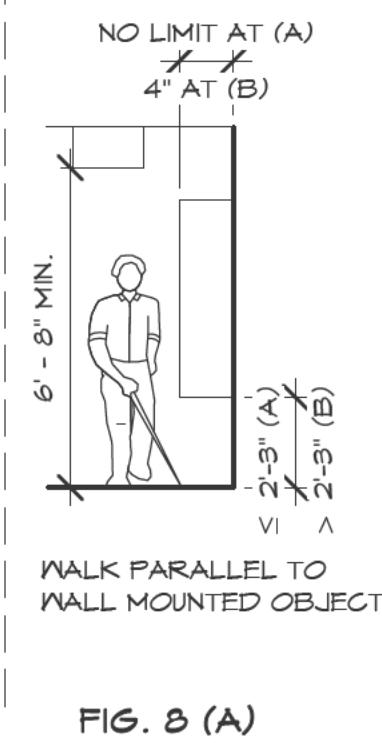


FIG. 8 (A)

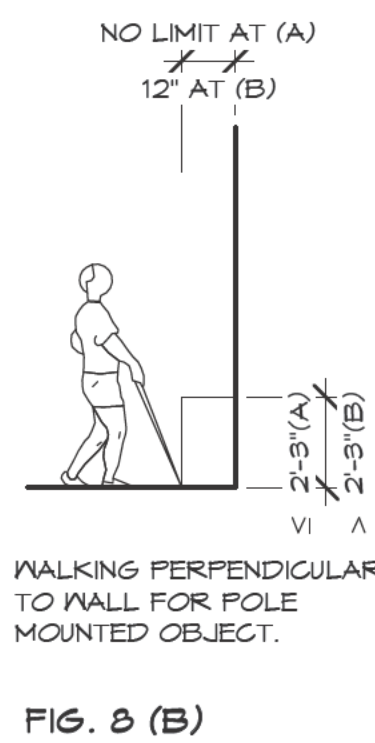


FIG. 8 (B)

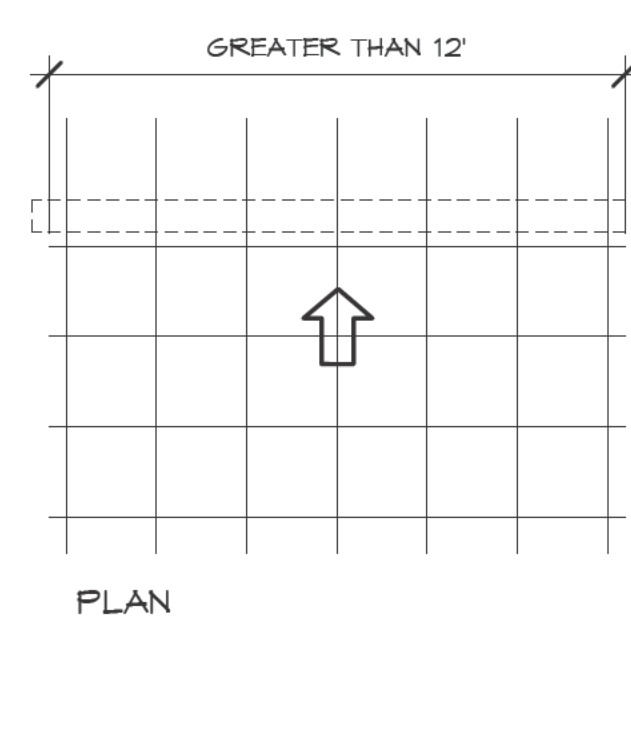


FIG. 8 (C)

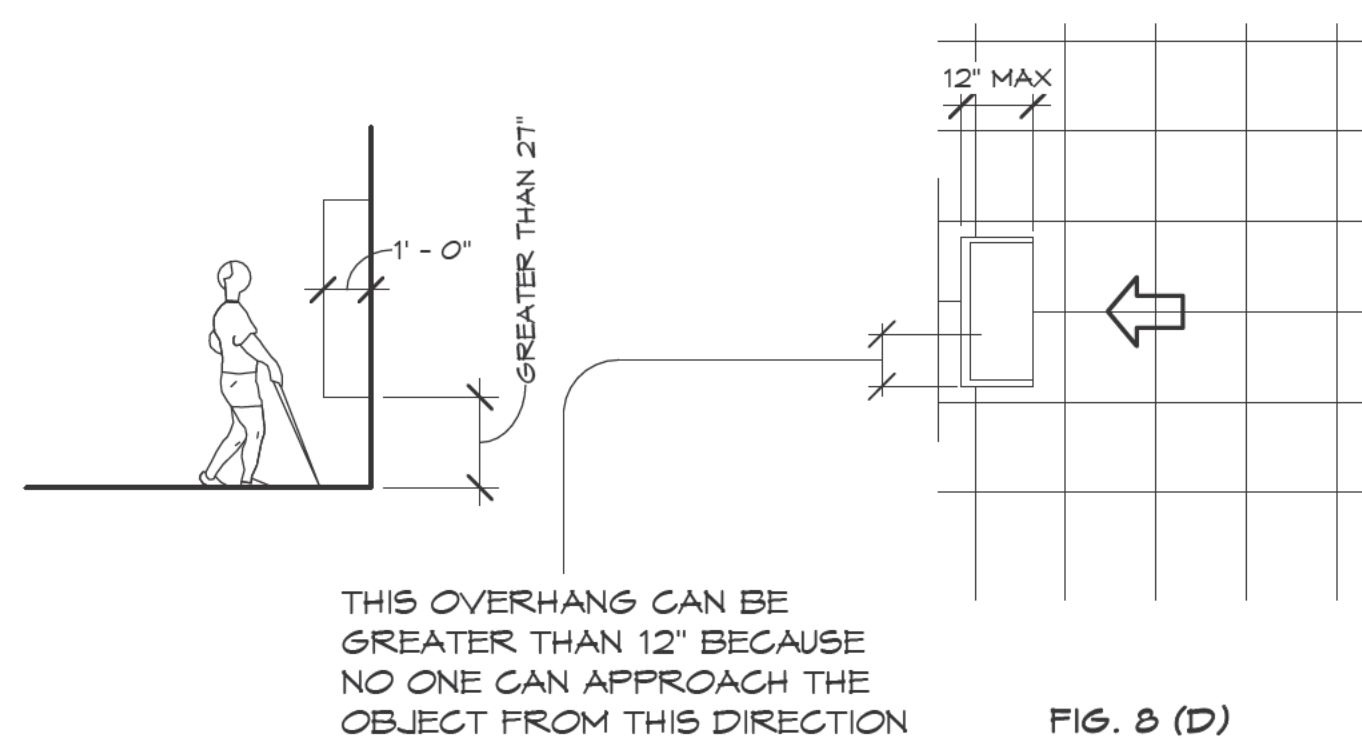
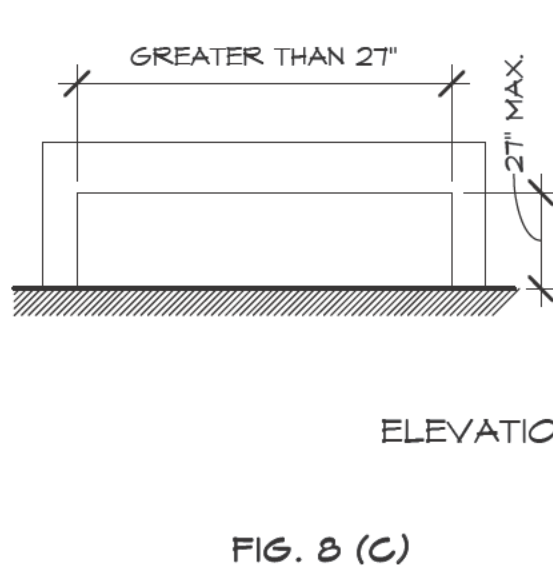


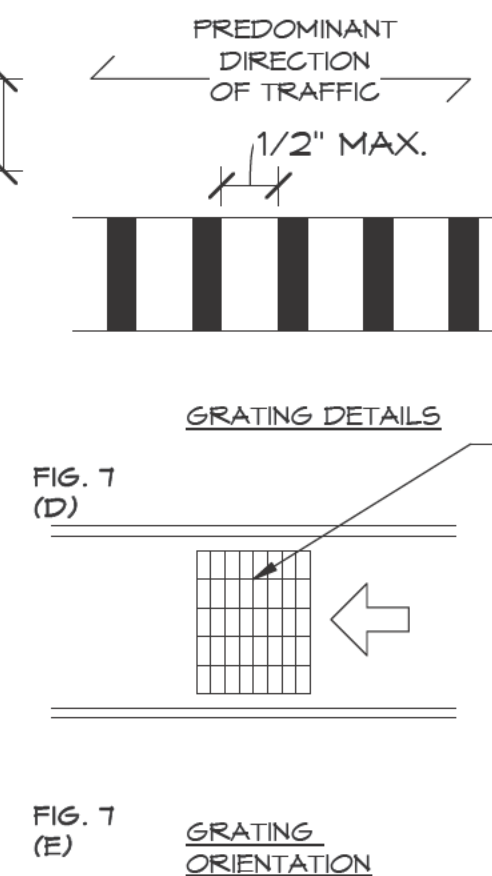
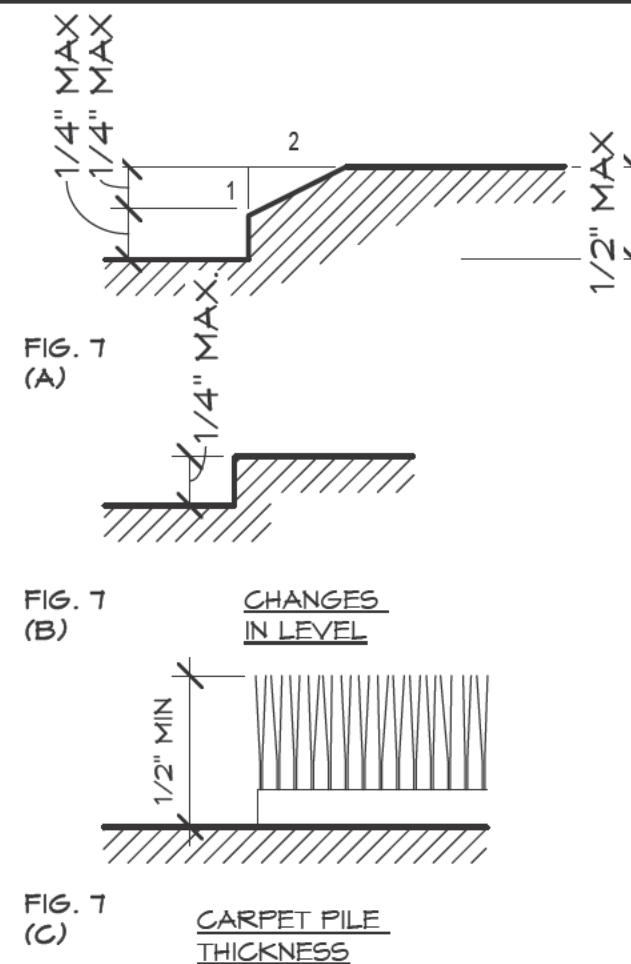
FIG. 8 (D)

GROUND & FLOOR SURFACES

CHANGES IN LEVEL
CHANGES IN LEVEL UP TO 1/4" MAY BE VERTICAL AND WITHOUT EDGE TREATMENT (SEE FIG. 7 (B)). CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2 SEE FIG. 7 (A).

CARPET
IF CARPET OR CARPET TILE IS USED ON A GROUND OR FLOOR SURFACE, THEN IT SHALL BE SECURELY ATTACHED, HAVE A FIRM CUSHION, PAD, OR BACKING, OR NO CUSHION OR PAD, AND HAVE A LEVEL LOOP, TEXTURED LOOP, LEVEL CUT PILE, OR LEVEL CUT/UN CUT PILE TEXTURE. THE MAXIMUM PILE THICKNESS SHALL BE 1/2" IN. SEE FIG. 8 (D) EXPOSED EDGES OF CARPET SHALL BE FASTENED TO FLOOR SURFACES AND HAVE TRIM ALONG THE ENTIRE LENGTH OF THE EXPOSED EDGE.

GRATINGS
IF GRATINGS ARE LOCATED IN WALKING SURFACES OR ALONG ACCESSIBLE ROUTES, THEN THEY HAVE SHALL HAVE SPACED NO GREATER THAN 1/2" WIDE IN ONE DIRECTION. SEE FIG. 8 (D). IF GRATINGS HAVE ELONGATED OPENINGS, THEN THEY SHALL BE PLACED SO THAT THE LONG DIRECTION IS PERPENDICULAR TO THE DOMINANT DIRECTION OF TRAVEL. SEE FIG. 8 (E).



DOORS

THRESHOLDS AT DOORWAYS
THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 3/4" IN HEIGHT FOR EXTERIOR SLIDING DOORS OR 1/2" FOR OTHER TYPES OF DOORS. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES AT ACCESSIBLE DOORWAYS SHALL BE LEVELED WITH A SLOPE NO GREATER THAN 1:2.

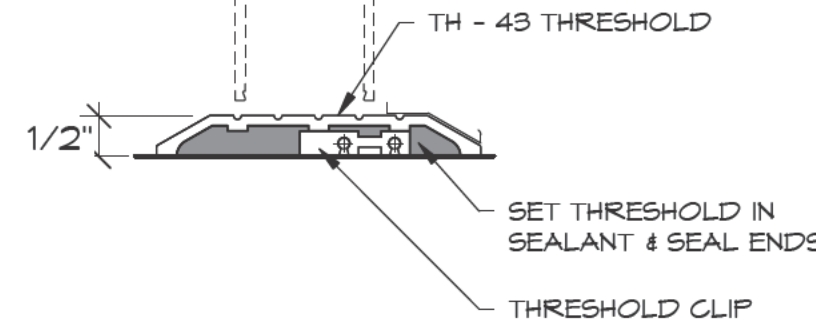
DOOR HARDWARE
HANDLES, PULLS, LATCHES, LOCKS, AND OTHERS OPERATING DEVICES ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE. LEVER-OPERATED MECHANISMS, PUSH-TYPE MECHANISMS AND U-SHAPED HANDLE ARE ACCEPTABLE DESIGNS. WHEN SLIDING DOORS ARE FULLY OPEN, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES. HARDWARE REQUIRED FOR ACCESSIBLE DOOR PASSAGE SHALL BE MOUNTED ON HIGHER THAN 48" (1220MM) ABOVE FINISHED FLOOR.

DOOR CLOSERS
IF A DOOR HAS A CLOSER, THEN THE SNEEP PERIOD OF THE CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION OF 12 DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM.

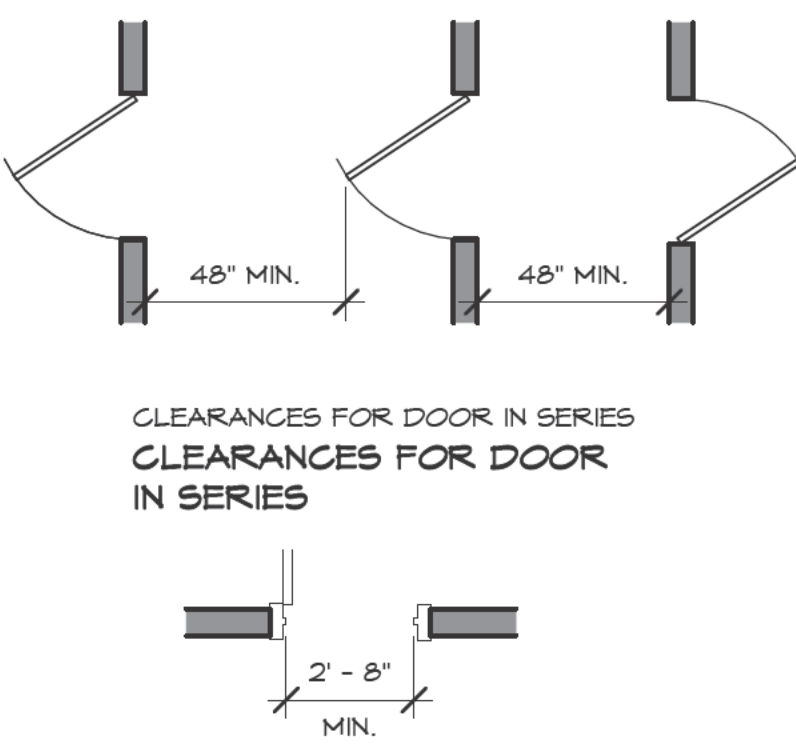
DOOR OPENING FORCE
THE MAX. FORCE FOR PUSHING OR PULLING OPEN A DOOR SHALL BE AS FOLLOWS:

- (1) FIRE DOORS SHALL HAVE THE MINIMUM OPENING FORCE ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY
- (2) OTHER DOORS
(A) EXTERIOR HINGED DOORS: (RESERVED)
(B) INTERIOR HINGED DOORS: 5 LBF (22.2N)
(C) SLIDING OR FOLDING DOORS: 5 LBF (22.2N)

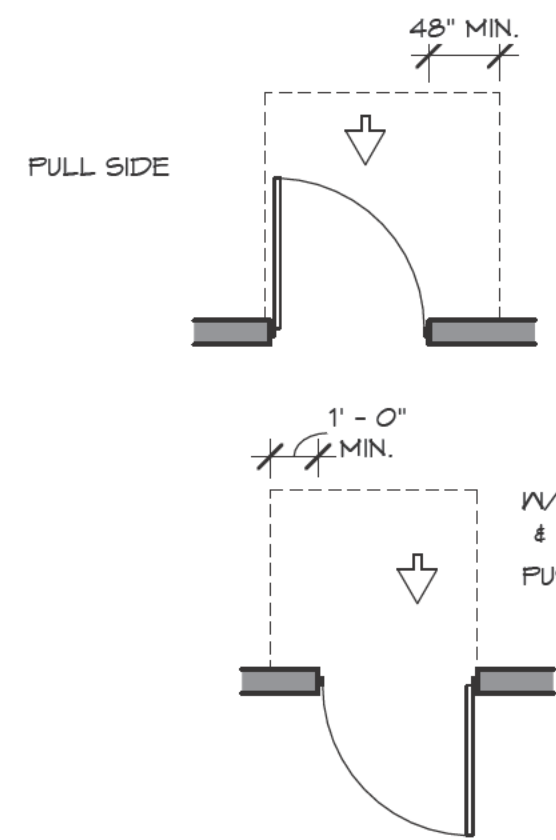
THESE FORCES DO NOT APPLY TO THE FORCE REQUIRED TO RETRACT LATCH BOLTS OR DISENGAGE OTHER DEVICES THAT HOLD THE DOOR IN A CLOSED POSITION



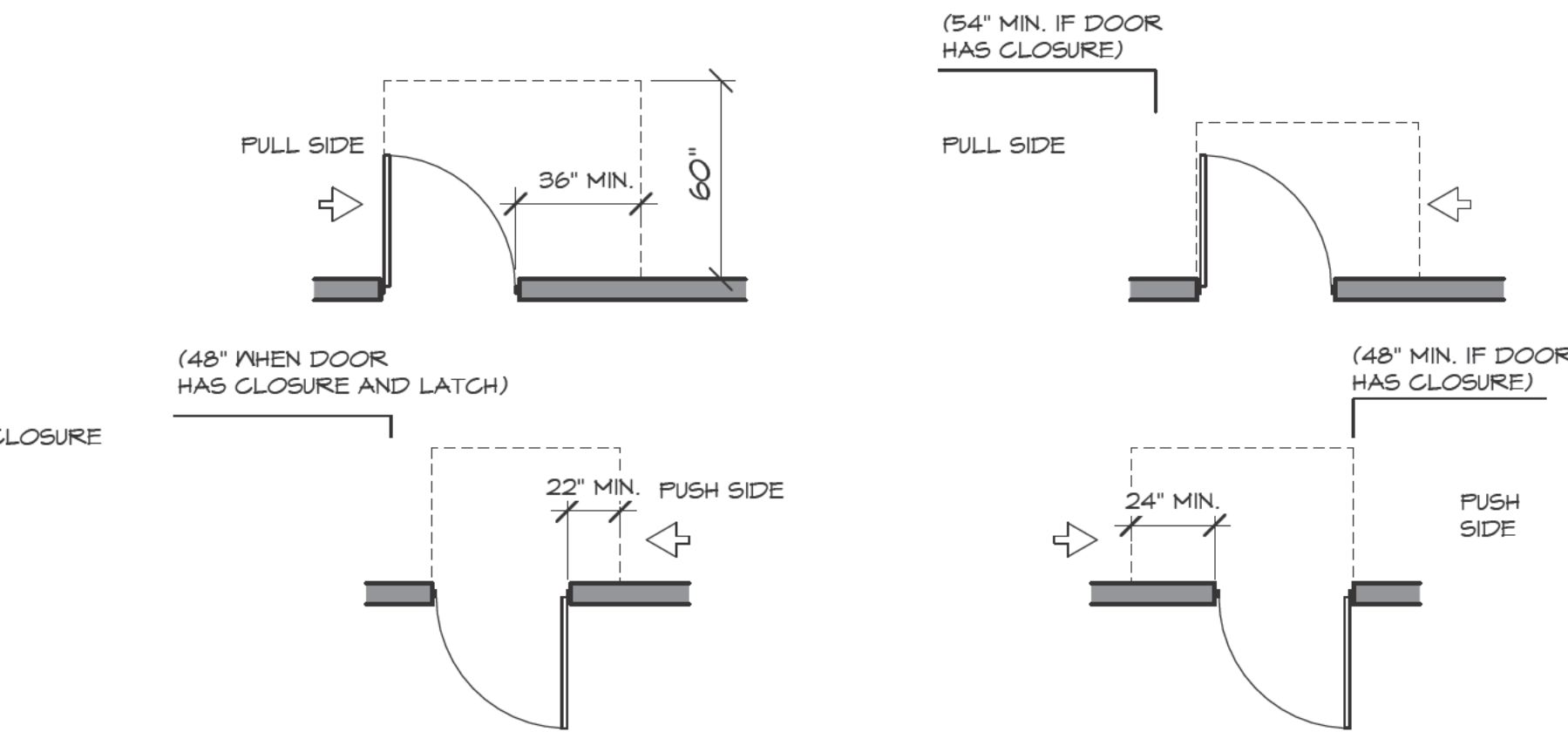
DOOR THRESHOLD DETAIL



CLEAR DOOR WAY WIDTH



CLEAR DOOR WAY WIDTH



NOTE: ALL DOORS IN ALCOVES MUST COMPLY WITH THE CLEARANCE NOTED FOR FRONT APPROACHES

NOTE: SOAP DISPENSER, PAPER TOWEL DISPENSER, TOILET TISSUE DISPENSER, SANITARY NAPKIN DISPENSER, TOILET COVER PAPER DISPENSER MODELS TO BE COORDINATED WITH OWNER

ACCESSORY SPECIFICATION NO.	GRAB BAR	SURFACE MOUNTED TOILET TISSUE DISPENSER	FIRE EXTINGUISHER	SURFACE MOUNT SOAP DISPENSER	FRAMED MIRROR	UNFRAMED MIRROR
	TA - 1B TA - 1A	TA - 2	TA - 3	TA - 4	TA - 5	TA - 6

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE COMPLETED IN STRICT ACCORDANCE WITH THE DESIGN GUIDELINES AND/OR APPLICABLE ACCESSIBILITY STANDARDS.
2. REPORT TO THE OWNER/ARCHITECT ANY AND ALL DISCREPANCIES BETWEEN OR WITHIN, THE CONTRACT DOCUMENT AND APPLICABLE ACCESSIBILITY STANDARDS. PRIOR TO BEGINNING ANY PHASE OF CONSTRUCTION.
3. UTILIZE EXTREME CARE TO ENSURE THAT ALL TOLERANCES, DIMENSIONS, AND CLEARANCE ARE CONSTRUCTED ACCURATELY AND WITHOUT DEVIATION.
4. TAKE ANY AND ALL ACTIONS NECESSARY TO CORRECT CONDITIONS WHICH ARE IN THE OPINION OF THE STATE ACCESSIBILITY INSPECTOR IN VIOLATION OF ACCESSIBILITY STANDARD AS REQUIRED, AS THE DIRECT & SOLE RESULT OF DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS OR INADEQUATE CONSTRUCTION CONTROL & OR TOLERANCES.

CONSTRUCTION DOCUMENTS
EXP. 9/30/23



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Checked By: JJC
Job Number: 23-022

HANDICAP DETAILS

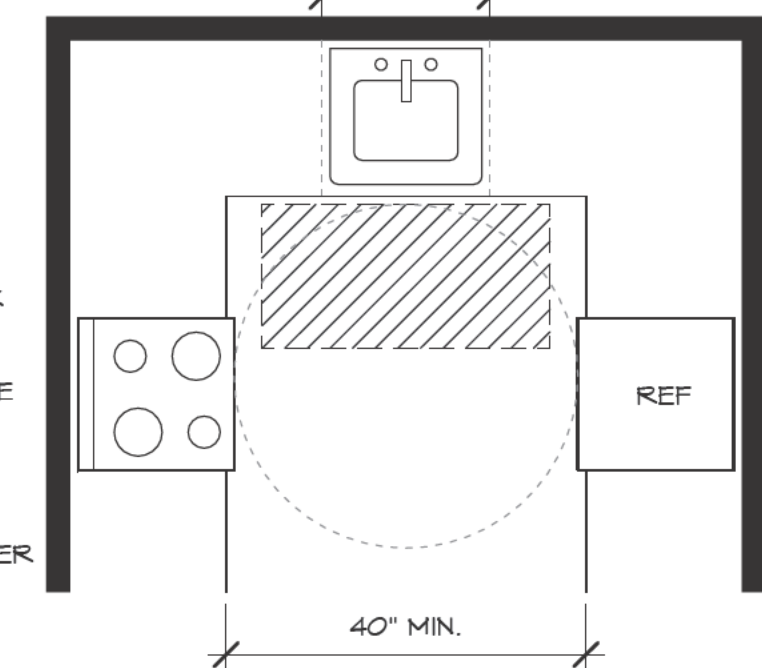
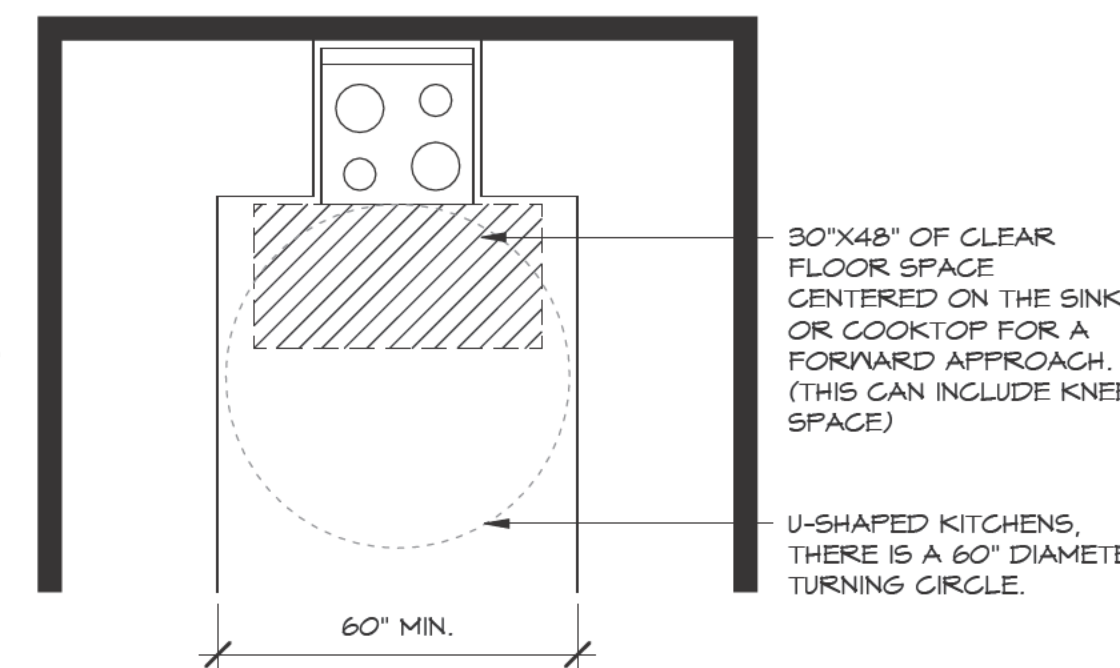
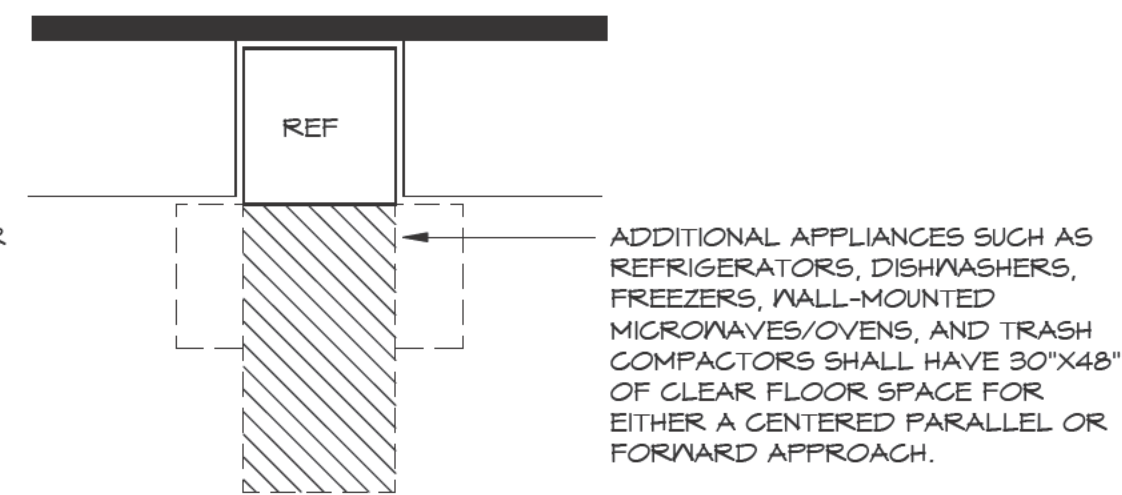
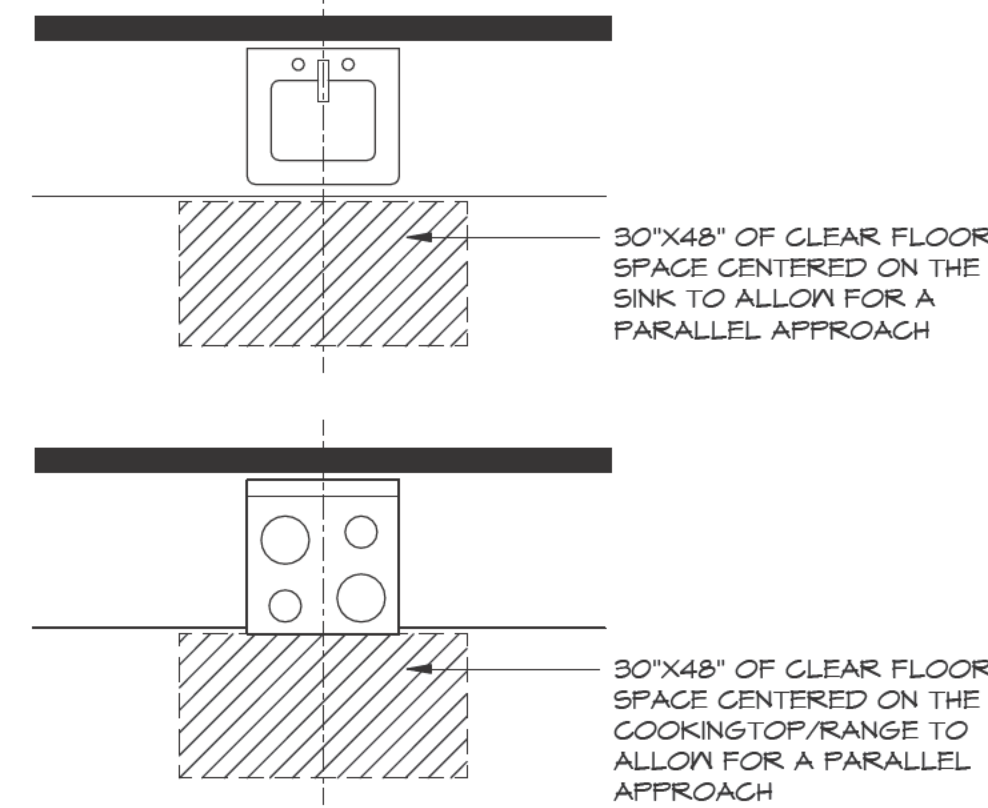
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Date: 06/06/23

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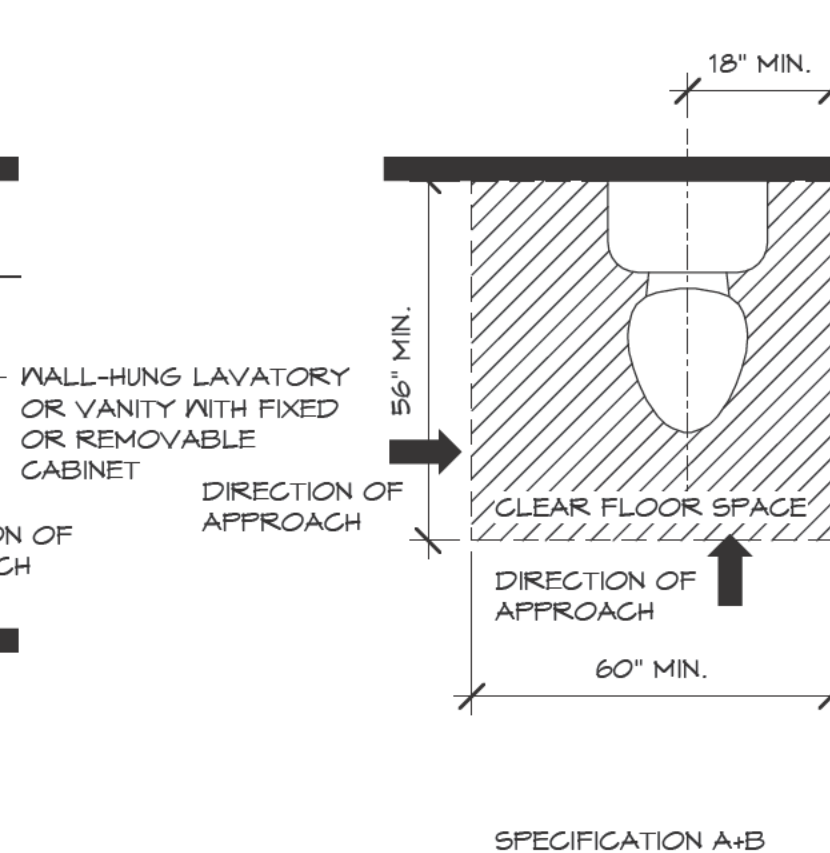
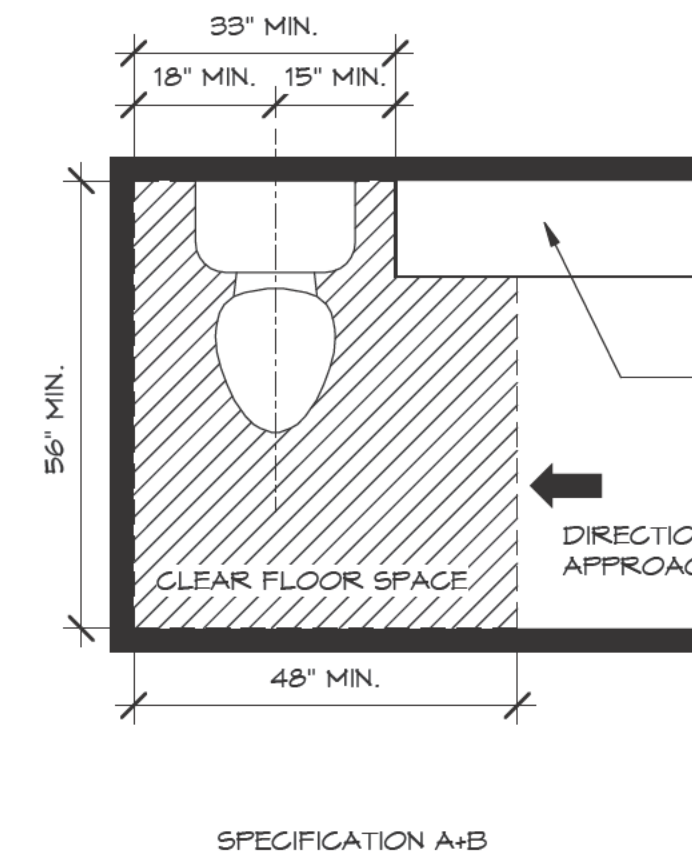
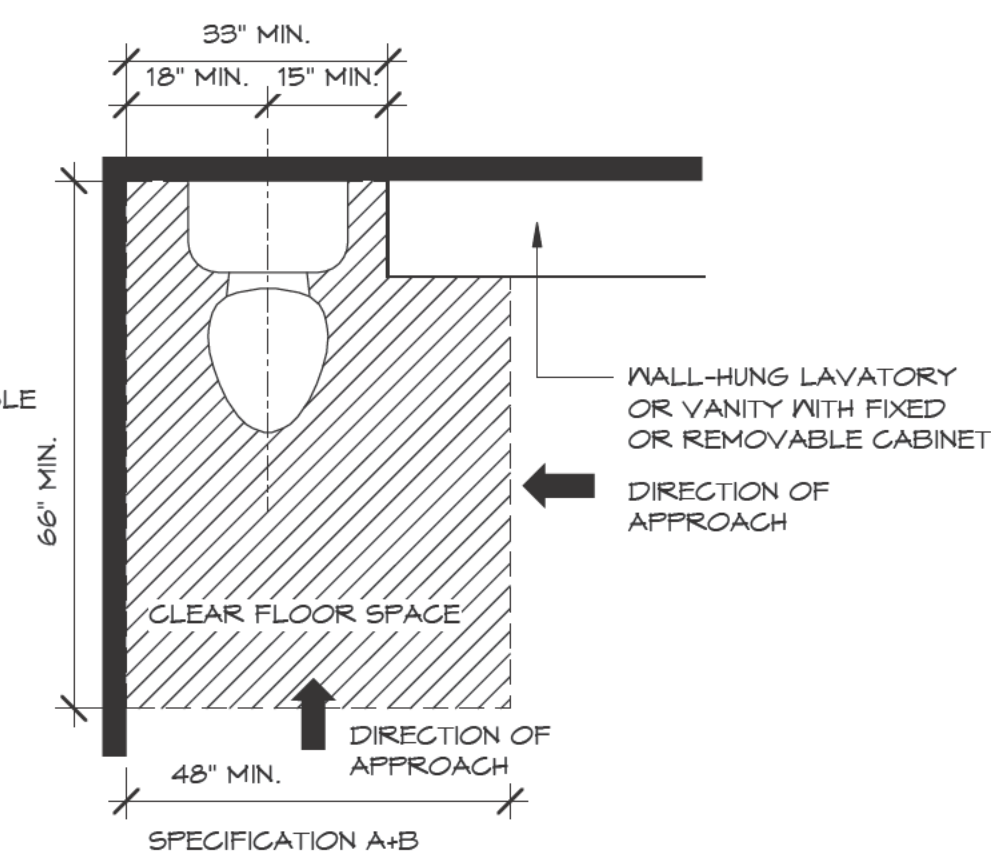
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U-SHAPED KITCHENS
IN U-SHAPED KITCHENS, THERE IS AN 60" DIAMETER TURNING CIRCLE AT THE BASE OF THE KITCHEN.

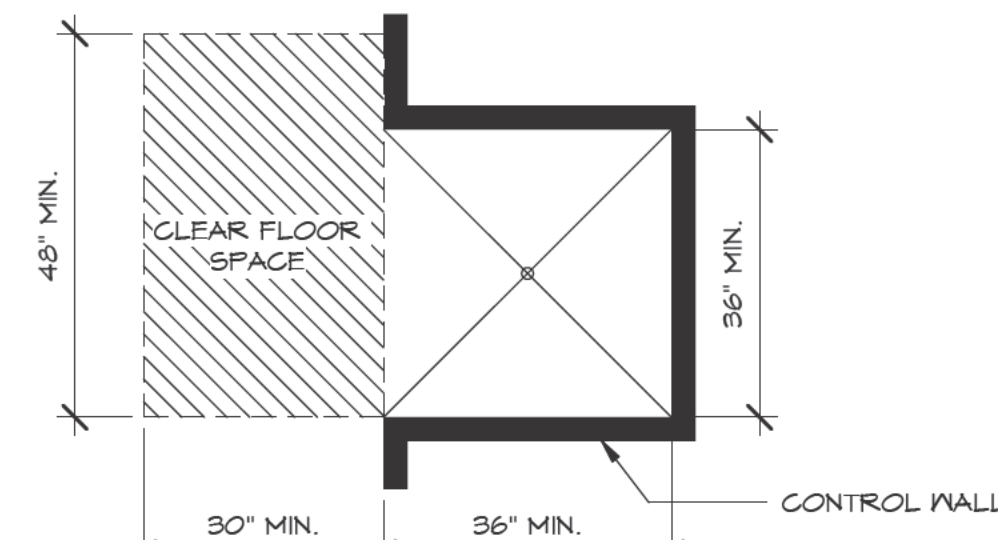
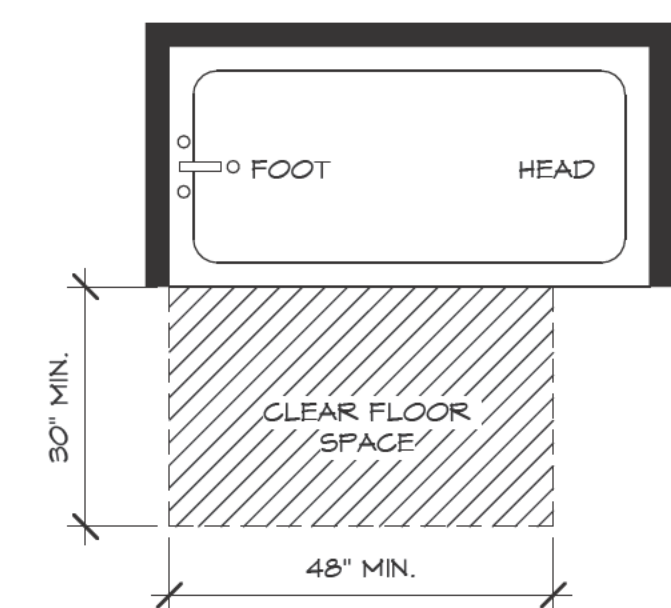
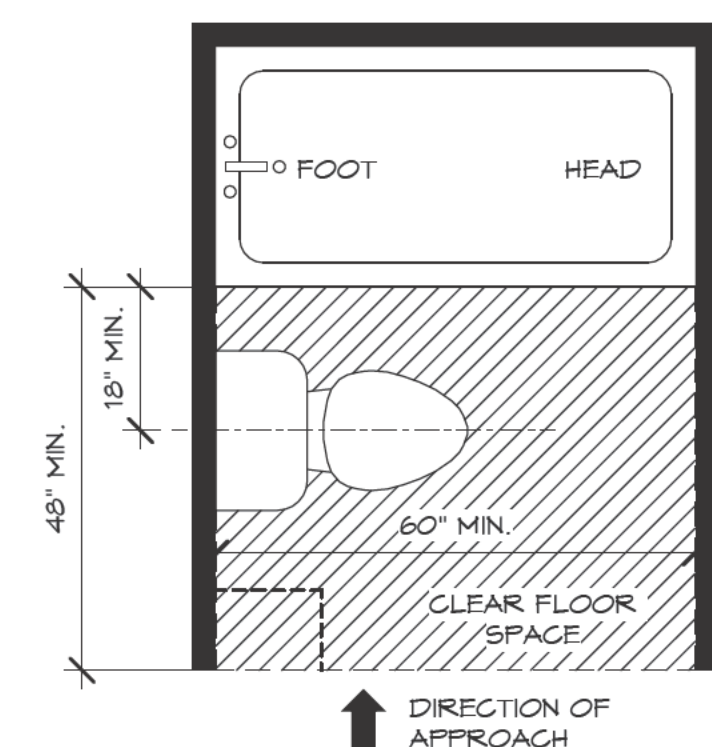
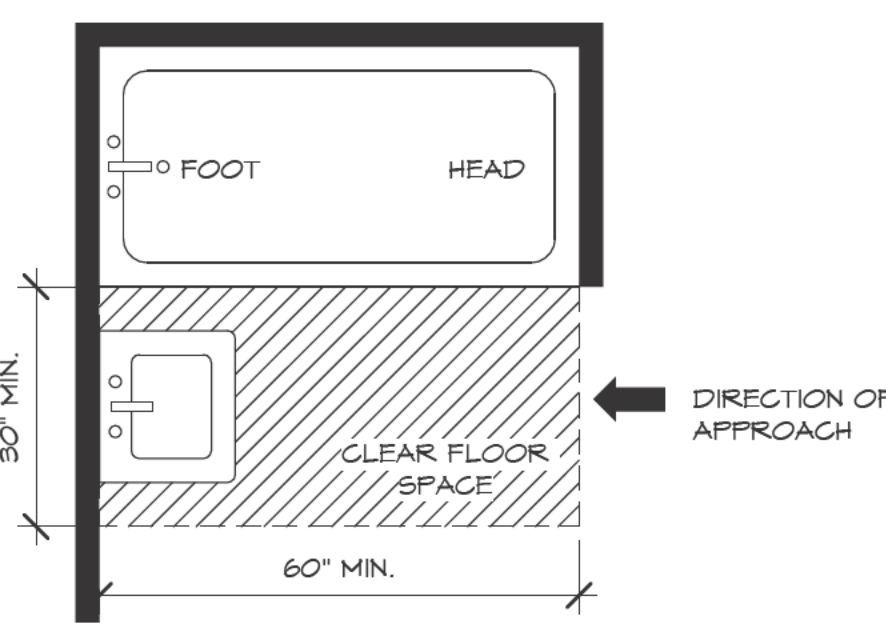
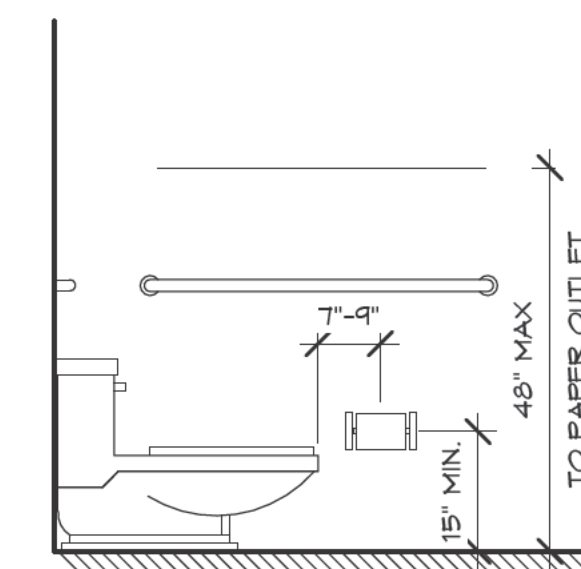


U-SHAPED KITCHENS

REINFORCED WALLS
IN U-SHAPED KITCHENS, THERE IS AN 60" DIAMETER TURNING CIRCLE AT THE BASE OF THE KITCHEN.



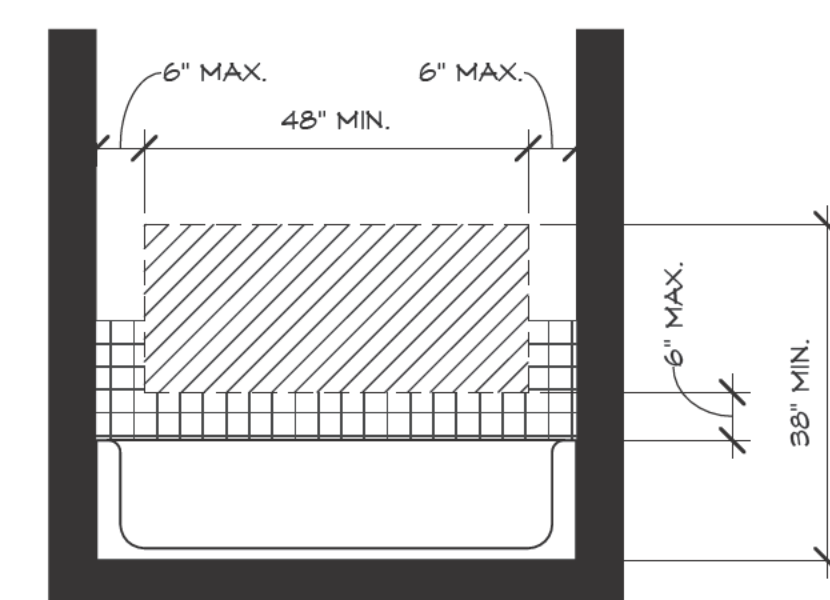
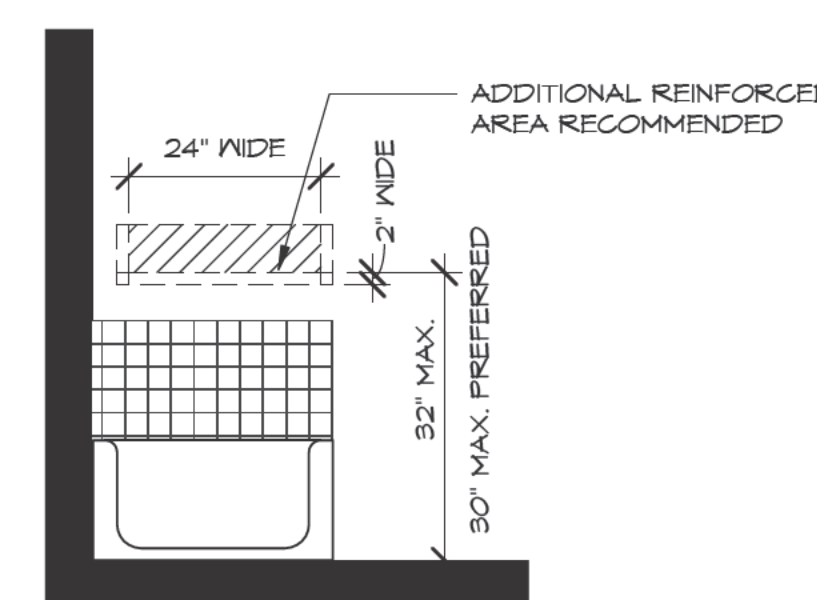
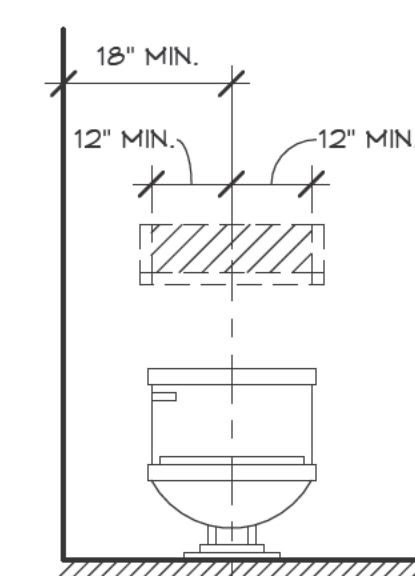
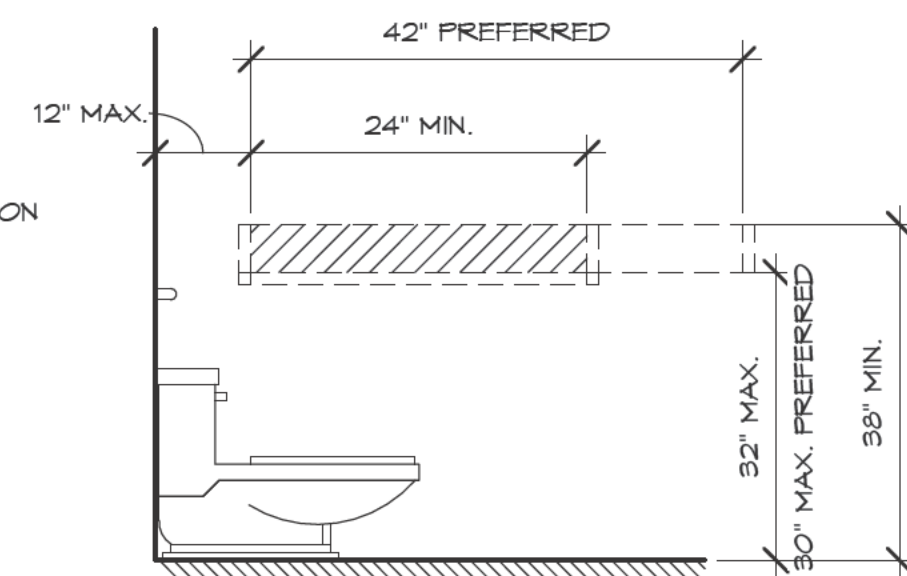
DISPENSERS
TOILET PAPER DISPENSERS SHALL BE 1" MINIMUM AND 9" MAXIMUM IN FRONT OF THE WATER CLOSET MEASURED TO THE CENTERLINE OF THE DISPENSER. THE OUTLET OF THE DISPENSER SHALL BE 15" MINIMUM AND 48" MAXIMUM ABOVE THE FINISH FLOOR AND SHALL NOT BE LOCATED BEHIND GRAB BARS. DISPENSERS SHALL NOT BE OF A TYPE THAT CONTROLS DELIVERY OR THAT DOES NOT ALLOW CONTINUOUS PAPER FLOW.



SHOWERS IN BATHROOMS THAT ARE ONLY BATHING FIXTURE IN THE UNIT SHALL BE AT LEAST 36"X36"

IN BATHROOMS WHERE THE TOILET IS NOT ADJACENT TO A WALL, THE FLOOR, OR WALL SHALL BE REINFORCED FOR FOLDING OR FLOOR-MOUNTED GRAB BARS.

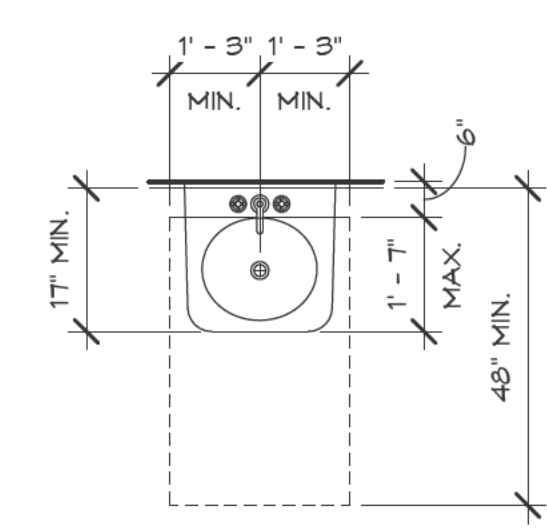
NOTE: IF MOUNTED GREATER THAN 27" A.F.F., MAX PROJECTION INTO ACCESSIBLE ROUTE IS 4". SEE SECTION 4.4 OF THE TAS FOR ADDITIONAL REQUIREMENTS.



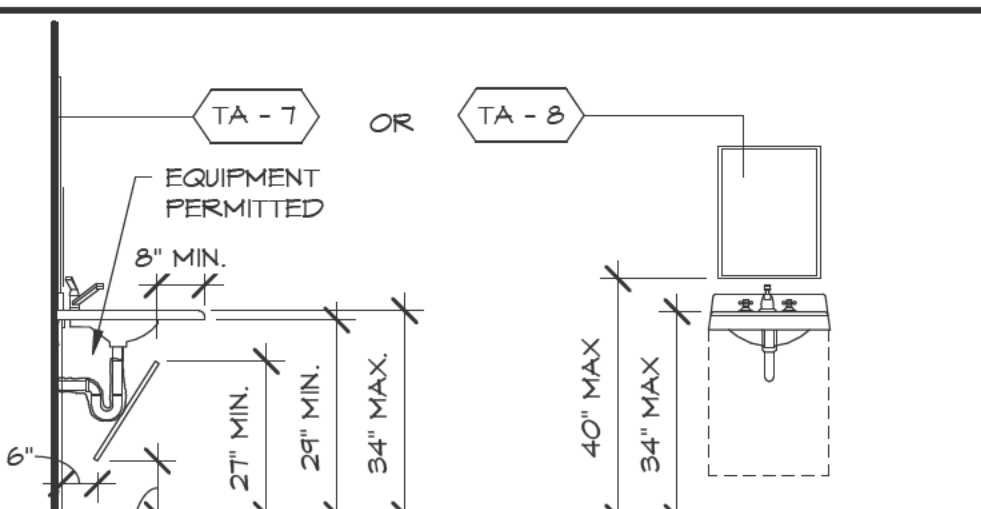
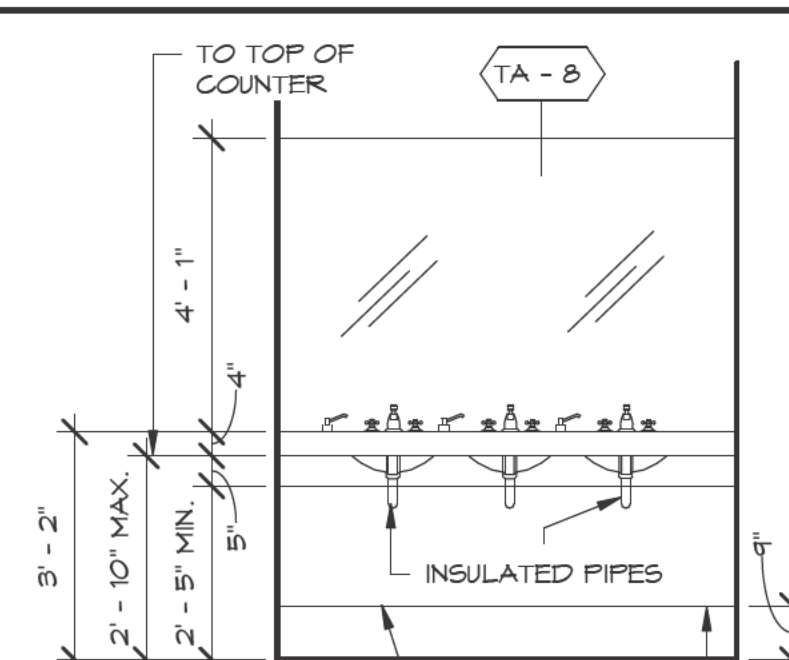
EXPOSED PIPES AND SURFACES
NOT WATER AND DRAIN PIPES UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.

4.19.5 FAUCETS
FAUCETS SHALL COMPLY WITH "APPLICABLE ACCESSIBILITY STANDARDS".
LEVER - OPERATED, PUSH - TYPE, AND ELECTRONICALLY CONTROLLED
MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGNS. IF SELF - CLOSING
VALVES ARE USED THE FAUCET SHALL REMAIN OPEN FOR AT LEAST 10
SECONDS.

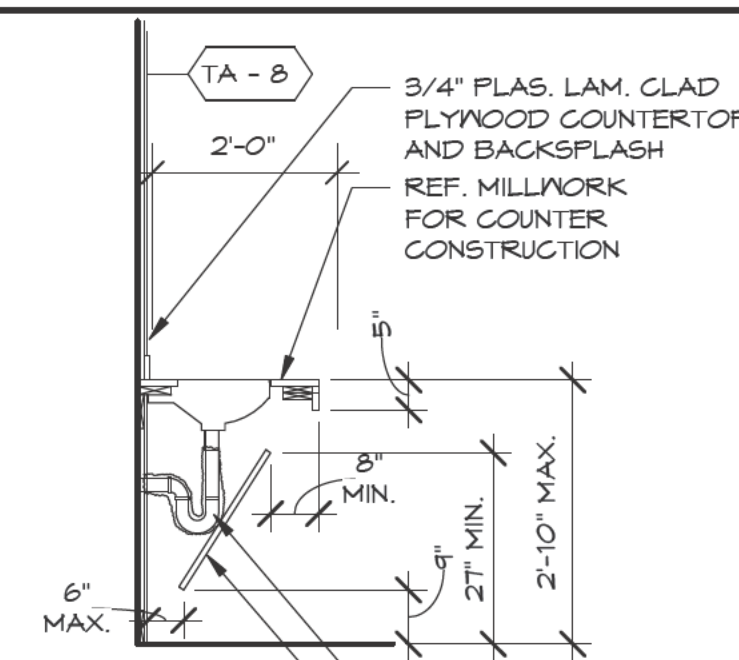
4.1.6 MIRRORS LOCATED ABOVE LAVATORIES OR COUNTERTOPS SHALL BE INSTALLED WITH THE BOTTOM EDGE OF THE REFLECTING SURFACE 40 INCHES (1015 MM) MAXIMUM ABOVE THE FINISH FLOOR OR GROUND. MIRRORS NOT LOCATED ABOVE LAVATORIES OR COUNTERTOPS SHALL BE INSTALLED WITH THE BOTTOM EDGE OF THE REFLECTING SURFACE 36 INCHES (915 MM) MAXIMUM ABOVE THE FINISH FLOOR OR GROUND. A SINGLE FULL-LENGTH MIRROR CAN ACCOMMODATE A GREATER NUMBER OF PEOPLE, INCLUDING CHILDREN. IN ORDER FOR MIRRORS TO BE USABLE BY PEOPLE WHO ARE AMBULATORY AND PEOPLE WHO USE WHEELCHAIRS, THE TOP EDGE OF MIRRORS SHOULD BE 74 INCHES (1880 MM) MINIMUM FROM THE FLOOR OR GROUND.



PLAN
FIG. 32

SECTION
FIG. 31

ACCESSIBLE COUNTERTOP LAVATORIES



- MUST BE OFFSET DRAIN
- PROTECTIVE PANEL



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Drawing No:

HA-2