

**AMENDMENT TO
CONSTRUCTION CONTRACT
FOR CONSTRUCTION OF THE ALAMODOME IMPROVEMENTS PROJECT.
PROJECT NO: 45-00038
AMENDMENT NO. 1**

This Amendment to the Construction Contract for construction of the Alamodome Improvements Project is entered into by and between the City of San Antonio ("City"), a home rule municipal corporation, acting by and through its City Manager, and Skanska USA Building INC, ("Contractor"), acting by and through its duly authorized corporate representative, as set out below. The City and Contractor are referred to collectively herein as the "Parties".

WHEREAS, on August 31, 2023, through Ordinance 2023-08-31-0587 City Council approved the execution of a Construction Contract between the Parties for Construction for the Project; and

WHEREAS, on September 19, 2023 the Parties executed a Construction Contract in an amount not to exceed \$19,890,000 ("Original Agreement"); and

WHEREAS, the Parties desire to add additional scope for the installation of expansion joints in the Alamodome and increase the contract capacity by \$285,635.74 to the Project, as described in the Change Order attached as **Exhibit 1**, and summarized in the table below.

Original contract capacity	\$19,890,000.00
Amendment amount	\$285,635.74
New contract capacity	\$20,175,635.74

WHEREAS, it is understood between the Parties that Exhibit 1 is attached solely for reference to the additional scope of services contained therein, and City is not bound by any additional terms or conditions contained therein nor in any attachments thereto; and

WHEREAS, the Contract Price is hereby revised to a not to exceed amount of \$20,175,635.74.

NOW THEREFORE, in consideration of the terms, covenants, agreements and demises herein contained each to the other given, the sufficiency and receipt of which are hereby acknowledged, the Original Agreement is amended as follows:

1. Compensation. The not to exceed amount of the Contract Price is hereby increased in the amount of \$285,635.74, for a revised not to exceed Contract Price of TWENTY MILLION ONE HUNDRED SEVENTY-FIVE THOUSAND SIX HUNDRED THIRTY FIVE AND 74/100 U.S. DOLLARS (\$20,175,635.74).
2. Additional Services. The additional services described in the proposed change order attached as **Exhibit 1**, excluding any additional terms contained therein or in any attachments thereto, is hereby added and incorporated into the Original Agreement.

Except as amended hereby, all other provisions of the Agreement and corresponding Amendments are hereby retained in their entirety and remain unchanged.

EXECUTED and AGREED on this date: April 30th, 2024.

CITY OF SAN ANTONIO

SKANSKA USE BUILDING INC.



(Signature)

(Signature)

Razi Hosseini, P.E., R.P.L.S.
Director, Public Works Department

Tom Hull
Senior Project Manager

Approved as to Form:

Tino Gallegos
Assistant City Attorney

EXHIBIT 1

Skanska USA Building
 711 Broadway Suite 305 San Antonio, TX 78215
 San Antonio, Texas 78258
 Phone: (210) 301-7100
 Fax: (210) 301-7101

Project: 3422517-000 - Alamodome Final Four Renovations
 100 Montana Street
 San Antonio, Texas 78203

Potential Change Order (PCO)

TO:	City of San Antonio P.O. Box 839966 San Antonio, Texas 78283-3966	FROM:	Skanska USA Building Inc. (TX-San Antonio) 711 Broadway Suite 305 San Antonio, Texas 78215
PCO NUMBER/REVISION:	017 / 0	TITLE:	PCO #017 - ASI #001 - Expansion Joints
CREATED DATE:	4/10/2024	DUE DATE:	
CONTRACT:	1 - PW 45-00038	REFERENCE:	
SCOPE:	Out of Scope		
TYPE:	Owner Change	CHANGE REASON:	Owner Directive
SCHEDULE IMPACT:		COST IMPACT:	\$285,635.74

POTENTIAL CHANGE ORDER DESCRIPTION: *(The Contract Is Changed As Follows)*

Mr. Knippel,

We are submitting for approval PCO #016 in the amount of \$285,635.74 for ASI #001 on the Alamodome Improvements Project. Attached are the related documents for this work package.

Please initial one of the selections below and provide a signature below for acknowledgement of the amount of the change.

Charge against the Owner's Contingency the amount of \$285,635.74

Issue Change Order to add to the GMP in the amount of \$285,635.74

Please feel free to contact me at 210-278-4478 or at tom.hull@skanska.com with questions.

Sincerely,

Tom Hull

ATTACHMENTS:

#	Budget Code	Description	Amount
1	200.5020.07-070000.00 07B - Waterproofing & Joint Sealants	Expansion Joints - ASI #001	\$124,318.00
2	200.5020.09-096700.00 09G -Fluid Applied Flooring	Expansion Joints - ASI #001	\$68,667.00
3	200.5020.09-096000.00 09B & C - Resilient Flooring and Carpet & Tile	Expansion Joints - ASI #001	\$8,785.50
4	200.5020.02-024100.00 02D - Demolition	Expansion Joints - ASI #001	\$31,101.00
5	200.5020.09-096700.00 09G -Fluid Applied Flooring	Expansion Joint Replacement - ASI #001	\$20,250.00
6	200.5020.03-033000.00 03A - Concrete	Expansion Joint Replacement - ASI #001	\$8,500.00
Subtotal:			\$261,621.50
Subcontractor Default Insurance -1.40% (1.40%):			\$3,662.70
Builder's Risk Insurance -0.23% (0.23%):			\$601.73
Payment & Performance Bonds -1.10% (1.10%):			\$2,877.84
GLI - 1.25% (1.25%):			\$3,270.27
Construction Fee - 5.00% (5.00%):			\$13,601.70
Grand Total:			\$285,635.74

City of San Antonio
P.O. Box 839966
San Antonio, Texas 78283-3966

Skanska USA Building Inc. (TX-San Antonio)
711 Broadway Suite 305
San Antonio, Texas 78215

SIGNATURE

DATE

SIGNATURE

DATE



4/10/2024

ROOFING & SHEET METAL

- Modified Bitumen
- BUR
- EPDM
- TPO/PVC
- Metal

WATERPROOFING & CAULKING

- Joint Sealants
- Expansion Joints
- Membrane Waterproofing
- Elastomeric Coatings
- Water Repellents
- Waterblasting
- Concrete/Masonry Repair
- Dampproofing
- Flashing
- Traffic Coatings

ROOF MAINTENANCE & LEAK REPAIR

- Building Surveys
- Leak Repair
- Roof Maintenance

SAN ANTONIO LOCATION

146 Industrial Drive
Cibolo, TX 78108
210.822.6536 main
210.822.8211 fax

OTHER LOCATIONS

- Dallas
- Austin
- Houston
- Oklahoma City

Contractor: Skanska
Attn: Chelsea Moore
Phone: (210) 428-8701
Email: Chelsea.Moore@skanska.com

The parties acknowledge that some of the materials and products to be used and installed in the construction of this Project may become unavailable, delayed in shipment and/or subject to price increases due to circumstances beyond the control of the Subcontractor, including, but not limited to, the coronavirus disease ("COVID-19") pandemic. If a specified product is unavailable or shipment is delayed, Subcontractor shall provide written notice to Contractor' and shall be afforded additional time and substitute products may be considered. If there is an increase in price of materials, equipment, or products between the date of this Agreement and the time when the Project is ready of the installation of the affected material. The Contract Price shall be increased to reflect the additional cost to obtain the materials, provided that the Subcontractor gives the Contractor written notice and documentation of the increased costs.

Reference: Alamodome Improvements- ASI #001
Date of Drawings: 10/24/2022

Chamberlin Austin, LLC hereinafter referred to as Chamberlin proposes to furnish all labor, materials, equipment and insurance necessary to perform the work generally described as follows:

Scope of Work:

Spec Section 079500 - Expansion Control	\$143,755
<ul style="list-style-type: none"> ▶ Furnish and install 2" floor to floor expansion joint system (MM Systems DIH-200) per ASI #001. Areas include the Plaza Level, Mezzanine Level, Club Level, and Upper Concourse Level. Based on 870 LF ▶ Please note: This pricing EXCLUDES any joint sealants or expansion joints at the Field Level or returns at speed courts on the Club Level. ▶ Please note: Demo of existing EJ to be by others. Chamberlin's pricing only covers installing the EJ's. ▶ Please note: Pricing EXCLUDES excessive concrete and surface preparations. ▶ Please note: Pricing EXCLUDES concrete blockouts. ▶ Obtain expansion control systems from a single source manufacturer. ▶ Please note: This pricing EXCLUDES replacement of existing Fire Barrier system. Pricing assumes existing Fire Barrier system to remain in place. If required to be replace, additional cost will be added. ▶ Please note: Pricing assumes concrete blockouts will be level and any offsets in concrete will be corrected by others prior to installation of expansion joint ▶ Please note: Maximum joint width of 2". 	
Credit: Spec Section 079200 - Joint Sealants (EJ A only)	-\$19,437
<ul style="list-style-type: none"> ▶ Provide credit for self leveling sealant that was to be installed at EJ "A" at the upper concourse/ corridor. 	

* We will perform the work described above, for the sum of break-out above excluding tax on materials; plus 1.5% for a P&P bond, if required.

* All break-out pricing is for reference only and shall not be considered stand alone pricing.

Voluntary Alternates:

* Any value engineering or cost savings suggestions/pricing by Chamberlin are to be accepted or rejected by the owner and/or the design team in writing. Chamberlin is not a design professional and as such Chamberlin's proposal does not include any design services for the project. It is expressly understood that Chamberlin is not responsible for and assumes no design responsibility for the project, including any value engineering items.



Additional Term & Conditions

- * See "**Exclusions**" rider.
- * This offer is good for thirty (30) days.
- * We acknowledge **Addenda** - None
- * Prices above exclude P&P Bonds, fees, overtime, liquidated damages, and permits.
- * Pricing is based on using other's fully planked (OSHA approved) scaffolding to access sheathing joints, sheet metal flashing, membrane flashing & air barrier at no cost to Chamberlin including moving of the walk boards and scaffolding components by others in order for Chamberlin to access our work in a productive fashion.
- * Minority participation/SBE/WBE/MBE/etc excluded, but we can achieve up to 20% HUB participation through material procurement.
- * All colors are to be selected from the manufacturer's **standard color chart**.
- * All work to be performed during **normal business hours**.
- * This proposal is based upon execution of a mutually agreed upon contract terms and conditions between Chamberlin and the Contractor/Owner.
- * Contractor **agrees to furnish**: complete access to work areas free and clear of obstructions, dumpster, toilet facilities, potable water, and all electrical power. as required. at no additional cost to Chamberlin.
- * **All surfaces** to receive waterproofing, dampproofing, coatings, sealers, expansion joint systems, or sealants are to be provided by others to Chamberlin in a smooth, broom clean condition, free of contaminants, form oils, release agents, voids, fins & projections.
- * Unforeseen conditions or circumstances are not assumed nor anticipated in the scope of work proposed above and will be brought to the client's attention immediately upon discovery by Chamberlin personnel for a prompt resolution.
- * Chamberlin is not responsible for recognizing, locating, or removing asbestos, PCB's, or other hazardous materials.
- * Samples of products or systems presented for review are intended only to provide a general representation and not necessarily an exact replica of the products or systems to be furnished or installed. Any alternates proposed are subject and pending the owner and architect's approval.
- * For CIP programs, notwithstanding anything to the contrary, the CIP deduction (contract reduction) is limited to the amount of insurance premium that will be saved by Chamberlin due to the provision of insurance by General Contractor or Owner. The CIP deduction is based on our insurance rates as classified by Chamberlin and will reflect Chamberlin receiving the same insurance coverage that is provided under the current Chamberlin insurance policies. The CIP program shall have a minimum ten (10) year term for completed operations coverage. Concerning, but not specifically limited to Excess-Umbrella coverage, on which Chamberlin has a flat fixed premium, there will be no deduct provided as there is no savings to benefit Chamberlin.
- * Copy of the contract between the owner and the general contractor as well as a copy of the bond from the general contractor to the owner shall be provided within five (5) business days of the execution of the contract between Chamberlin and the general contractor.
- * All pricing is predicated on a maximum deductible cost of \$25,000 for the owner's builders risk insurance policy.
- * All time and material work (T&M) will be completed at a rate of \$65.00/hr with 20% mark-up on materials.
- * Retainage shall be paid **60 days** after contracted work is complete & accepted in writing by owner & contractor.
- * Chamberlin's **standard warranty excludes**: failures caused by failure of the substrate, moisture vapor transmission or hydrostatic pressure, abuse, conditions that exceed the limitations of the materials, sufficiency of the design; removal and replacement of overburden materials; incidental and consequential damages.
- * This proposal is not for the sale of goods, but rather a service contract for the installation or application of products, systems or materials. Therefore, **THE IMPLIED WARRANTIES OF MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE ARE HEREBY EXCLUDED**.
- * Contractor's repair obligations during the Warranty Period are limited to the original price of the waterproofing installation. In no event shall contractor's liability exceed the original installation price of the waterproofing system, even if it is claimed or determined that the warranty provided has failed of its essential purpose.
- * **All contracts will be issued to Chamberlin Austin, LLC.**

Thank you for the opportunity to submit our proposal for this project. Chamberlin would very much like to perform both the waterproofing and caulking work along with the roofing and sheet metal for this project. In addition to having the experience, financial resources and operations team to complete the project, we know that good communication and a spirit of cooperation are necessary components for a truly successful project. At your convenience we would appreciate the time to meet and discuss our proposal. Again, thank you for this opportunity and we look forward to the possibility of working for you and with you on this project.

Sincerely,

CHAMBERLIN AUSTIN, LLC

Justin Martinez

Project Estimator

Office (210) 822-6536

Cell (210) 549-9660

justinmartinez@chamberlinltd.com

Note: This proposal is subject to the attached "**Exclusions**" rider.



"EXCLUSIONS"

*** Items not specifically mentioned above as being included are considered to be expressly excluded**

* All sealants are based on a single color choice. Additional, custom and/or multiple color selections may be subject to additional pricing for both material as well as additional labor to install.

*** Custom colors**

* Caulking of sidewalk, slab and site paving joints (not listed above) using a 2-part polyurethane sealant

*** Removal of zip strips, wood fillers, fiber boards, and concrete from site sealants**

*** Hot pour rubber sealant**

* Caulk floor tile or paver joints

* Caulk granite, marble, or other stone joints

* Caulk in conjunction with painting, drywall or acoustical needs

* Caulk hand-set stone joints

* Caulk plaster joints or plaster soffit joints

* Caulk interior frames in drywall, or elevator door frames

* Caulk aluminum frames, windows, glass block, skylights, canopies, storefronts or metal panels

*** Caulk penetrations, thresholds, sills, sanitary, millwork or other interior finishes**

* Caulk in conjunction with roofing or sheet metal

* Firesafing at perimeter of building and MEP penetrations through CMU

*** Fire resistant sealants**

* **Pre-molded compressible foam sealers, expandable foam sealants, secondary backer seals, preformed silicone sealants, compression seals or gaskets**

* **Compressible fillers and elastomeric tubing joint fillers**

* **Reglets, covers, keyways, waterstops or vapor barriers**

*** Blockouts**

* Parge coat on masonry walls

* Abrasive blast cleaning; removing curing compounds and sealers

* Mechanical cleaning of concrete

*** Performed expansion joint fillers**

*** Spray polyurethane foam sealants**

* Shower pans or cementitious coverings over waterproofing systems

* Drainage systems and components

* Cavity wall insulation unless otherwise noted within proposal

*** Flashings, underlayment, and membranes under sheet metal, metal panels, and copings**

*** Waste receptacles**

* Patching of concrete - spawls, holes, fins, honeycombs, etc.

* Sump pumping

* Protection board where drainage board or insulation is used over waterproofing membrane

* Backfilling over waterproofing or monitoring of backfill operations

* Stone and tile pavers

* Waterproofing at wet interior floor area(s)

* Glass cleaning

* Traffic striping, marking, and traffic demarcation

* Commissioning and any costs associated with commissioning

* Exterior finish must be in place prior to exterior envelope testing, testing shall not be done directly against air barrier system

* Metal sill pans and/or metal sill flashings

* Access to elevator shaft while caulking CMU walls is to be provided by General Contractor

* DEFS/EIFS

* Bellows

* Overtime

* Toilet facilities

* Intumescent

* Building wrap/rainscreen

* Repair of damage by others.

* Protection of work by others.

* Cleaning of waste by others.

* Masonry anchor/tie treatment.

* All work associated with roofing.

* Beveling/saw cutting of concrete.

* Permits/permitting/permitting costs.



"EXCLUSIONS" CONTINUED

- * Pricing is based on using other's fully planked (OSHA approved) scaffolding to access sheathing joints, sheet metal flashing, membrane flashing & air barrier at no cost to Chamberlin including moving of the walk boards and scaffolding components by others in order for Chamberlin to access our work in a productive fashion.
- * Continuous water source for power washing.
- * Aluminum/colored/painted/pre-finished metal.
- * Detailing of fasteners/metal splices by others.
- * J trims/metal closures/reglets/screeds/weepers.
- * All work associated with Zip System sheathing.
- * Fireproofing/firesafing/firestopping/putty/stencils.
- * Hat channel/z furring/z girt furnishing/installation/treatment.
- * Costs resulting from work delays due to weather/acts of God.
- * Acrylic/butyl/fire/hybrid/mildew-resistant caulk.
- * Locating/recognizing/removing asbestos/PCBs/hazardous materials.
- * Heavy duty cleaning/sandblasting/scrubbing/shotblasting of existing conditions/stains by others.
- * Backfilling/excavation/french drains/gravel/total drains/waterstops/vapor barriers/vegetated roofing.
- * Batt insulation
- * Blanket insulation
- * Roof Insulation
- * Spray foam insulation
- * Third party testing costs.



Change Order Request

Date: 1/24/2024 **Bill to:** Skansa USA Building Inc.
Project Name: Alamodome 2024 Renovations **Attn:** April Rogel
Change Order: 1
Scope of Work: ASI #001-Backfill around expansion joint cut outs & topcoat with flake floor system.

Level/Area	Material Description	Unit	Unit Size	Cost Per Item	Total
Upper Concourse	SikaFloor 265	3	kits	\$ 1,370.10	\$ 4,110.30
Upper Concourse	SikaFloor 160	4	kits	\$ 2,077.85	\$ 8,311.40
Upper Concourse	SikaFloor 264	3	kits	\$ 806.76	\$ 2,420.27
Upper Concourse	Broadcast Flakes	4	boxes	\$ 548.48	\$ 2,193.92
Upper Concourse	Sikafloor 217	3	kits	\$ 827.21	\$ 2,481.63
Upper Concourse	Sikafloor 315	3	kits	\$ 1,206.25	\$ 3,618.75
Upper Concourse	Disposables	1	misc. items	\$ 1,600.00	\$ 1,600.00
Lower Concourse	SikaFloor 265	2	kits	\$ 1,370.10	\$ 2,740.20
Lower Concourse	SikaFloor 160	3	kits	\$ 2,077.85	\$ 6,233.55
Lower Concourse	SikaFloor 264	2	kits	\$ 806.76	\$ 1,613.52
Lower Concourse	Broadcast Flakes	3	boxes	\$ 548.48	\$ 1,645.44
Lower Concourse	Sikafloor 217	2	kits	\$ 827.21	\$ 1,654.42
Lower Concourse	Disposables	0.65	misc. items	\$ 1,600.00	\$ 1,040.00

Materials Total: \$ 39,663.40

Level/Area	Labor Classification	Hours	Hourly Rate	Total
Upper Concourse	Painter	450	29.75	\$ 13,387.50
Lower Concourse	Painter	415	29.75	\$ 12,346.25

Labor Total: \$ 25,733.75

Subtotal: \$ 65,397.15
5% Mark-Up: \$ 3,269.85
Total: \$ 68,667.00

Accepted By (Signature): _____
Name and Title: _____
Date: _____

Submitted By (Signature):  _____
Name and Title: Matt Miller, Division Manager
Date: 1/24/2024



Date:
1/30/2024

Change Order Request

To:
VICTOR VILLEDA

26211

From:
Richard A Stone

Customer PO:
Contract# 3422517-200.022

Bill To		Project		Job No:
Skanska USA Building Inc 18615 Tuscany Stone Suite 245 San Antonio, TX 78258		Alamodome 2024 Final Four Renovation - ADD 7 100 Montana St. San Antonio, TX 78203		7242
VICTOR VILLEDA Phone: (210) 952-7535- Cell: Pager: Fax:		VICTOR VILLEDA Phone: (210) 952-7535- Cell: Pager: Fax:		Request #: 4
				CO #: 0
				Bid Date: 6/14/2023
				Date: 1/30/2024

Description of Change Order Request:
ASI 001 CE #015 EXPANSION JOINTS

ASI 001 CE #015 EXPANSION JOINTS

ADD

MANUFACTURER:	COLOR NAME:	COLOR NUMBER:	UOM:	STYLE:	QUANTITY:	UNIT PRICE:	TOTAL PRICE:
1 REMOVE CARPET & VCT -	ALLEGIANCE FLOORS			N/A			
	N/A		EA		6.00	\$0.000 \$	0.00
	Labor: LABOR - REMOVE CARPET & VCT					\$252.500	\$1,515.00
2 RE-INSTALL CARPET & VCT -	ALLEGIANCE FLOORS			N/A			
	N/A		EA		6.00	\$92.583 \$	555.50
	Labor: LABOR - RE-INSTALL CARPET & VCT					\$252.500	\$1,515.00
3 POLISH CONCRETE AROUND JOINTS -	KSTONE			POLISHED CONCRETE			
	NA		EA		10.00	\$32.609 \$	326.09
	Labor: LABOR - POLISH CONCRETE AROUND JOINTS					\$217.391	\$2,173.91
4 FILL JOINTS -	KSTONE			JOINT FILLER			
	NA		LF		150.00	\$8.000 \$	1,200.00
	Labor: LABOR - FILL JOINTS					\$10.000	\$1,500.00
Total ADD							\$8,785.50

Tax Exempt Total This Option : \$8,785.50

SIGNED: _____

CUSTOMER'S AUTHORIZATION: _____

SUBCONTRACTOR COVER SHEET SUMMARY

DATE: 2/20/2024

ESTIMATE FOR CONTRACT MODIFICATION: CE #015 - Expansion Joints - ASI #001

CONTRACT TITLE: Alamodome Improvements

CONTRACT NO: 3422517-200

DESCRIPTION: Remove existing expansion joints for replacement by others per ASI #001

SUBCONTRACTOR'S WORK

Revisions/Comments

11. Direct Materials				\$ 1,028.50		
12. Sales Tax on Materials	0.00%	of line 11		\$ -		
13. Direct Labor				\$ 25,651.50		
14. Insurance, Taxes & Fringe Benefits	0%	of line 13		\$ -		Included in rate
15. Rental Equipment				\$ -		
16. Sales Tax on Rental Equipment	0.00%	of line 15		\$ -		
17. Equip. Ownership and Operating Expns				\$ 2,940.00		
18. SUBTOTAL (add lines 11-17)					\$ 29,620.00	
19. FOOH (Field Office Overhead)	0%	of line 18		\$ -		
20. HOOH (Home Office Overhead)	0%	of line 19		\$ -		
21. SUBTOTAL (add lines 19)					\$ 29,620.00	
22. Profit	5%	of line 21		\$ 1,481.00		
23. SUBTOTAL (add lines 21 and 22)					\$ 31,101.00	
24. P&P Bond (add line 23)	0.0%	of line 23		\$ -		
25. SUBTOTAL (Add Lines 23 & 24)					\$ 31,101.00	

Prime's Remarks: _____

Subcontractors Name: _____

Tejas Destructors, LLC

Title of Preparer: _____

CFO

PROPOSAL ASSUMPTIONS AND QUALIFICATIONS

- 1 This proposal is based on a 40-hour workweek, Monday through Friday.
- 2 This proposal includes four (4) mobilizations. Additional mobilizations will be \$2,500.00 each.
- 3 Electricity to be provided by the Owner or GC.
- 4
- 5
- 6 EXCLUSIONS:
- 7 Saw cutting
- 8 Preparation, patching, and repair of any kind.
- 9 Temporary protection, barriers, partitions, and construction fencing
- 10
- 11
- 12



Change Order Request

Date: 4/15/2024 **Bill to:** Skansa USA Building Inc.
Project Name: Alamodome 2024 Renovations **Attn:** April Rogel
Change Order: 4
Scope of Work: Patching in Plaza Level, 1,225.81 Sq. Ft.

Level/Area	Material Description	Quantity	Unit Size	Cost Per Item	Total
Plaza Level	SikaFloor 161	2	kits	2081.61	\$ 4,163.22
Plaza Level	SikaFloor 264	2	kits	806.77	\$ 1,613.54
Plaza Level	Broadcast Flakes	5	boxes	548.48	\$ 2,742.40
Plaza Level	Sikafloor 217	2	kits	827.21	\$ 1,654.42
Plaza Level	Sikafloor 315	1	kits	1215.13	\$ 1,215.13
Plaza Level	Disposables	0.25	misc.	1600.00	\$ 400.00

Materials Total: \$ 11,788.71

Level/Area	Labor Classification	Hours	Hourly Rate	Total
Plaza Level	Painter	252	29.75	\$ 7,497.00

Labor Total: \$ 7,497.00

Subtotal: \$ 19,285.71
5% Mark-Up: \$ 964.29
Total: \$ 20,250.00

Accepted By
(Signature): _____
Name and Title: _____
Date: _____

Submitted By
(Signature): _____
Name and Title: Matt Miller, South Division Manager
Date: 4/15/2024



Skanska USA Building

711 Broadway
Suite 305
San Antonio, TX 78215
San Antonio, Texas 78258
P: (210) 301-7100
F: (210) 301-7101

Project: 3422517-000 Alamodome Final Four Renovations

100 Montana Street
San Antonio, Texas 78203

RFI #23: ASI #001 Clarifications

Status	Closed on 02/21/24		
To	Bibi Nunez (Marmon Mok) Glenn Johnson (Marmon Mok)	From	April Rogel (Skanska USA Building Inc. (TX-San Antonio))
Date Initiated	Jan 30, 2024	Due Date	Feb 16, 2024
Location		Project Stage	
Cost Impact	TBD	Schedule Impact	TBD
Spec Section		Cost Code	
Drawing Number		Reference	
Linked Drawings			
Received From			
Copies To	Natalie Carrasco (Skanska USA Building Inc. (TX-San Antonio)), Tom Hull (Skanska USA Building Inc. (TX-San Antonio)), Chelsea Moore (Skanska USA Building Inc. (TX-San Antonio)), April Rogel (Skanska USA Building Inc. (TX-San Antonio)), Victor Villeda (Skanska USA Building Inc. (TX-San Antonio)), ET Ware (Skanska USA Building Inc. (TX-San Antonio))		
Posted	No		

ADDITIONAL RFI DETAILS

RFI Category	Clarification	RFI Discipline	
Subcontractor RFI #		Urgency	High

Activity**Question**

Question from April Rogel Skanska USA Building Inc. (TX-San Antonio) on Tuesday, Jan 30, 2024 at 10:50 AM EST

During sites walks with involved trades for ASI #001 the following questions arose. Please advise on the following:

- The AIA document provided in the ASI states "Contractor to provide credit back for 2 locations on club level C4/961". However, this detail is for the expansion joints in the new suites. The ASI only indicates the covers outside of the new suites. Please confirm the expansion joint covers in the new suites are not intended to be changed as a part of this ASI. (see page 1)
- Please confirm the construction joints called out on field level are no longer in scope of ASI #001. (see pages 2 & 3)
- ASI #001 calls out the joints returning to the wall along grid line E1 & E4 on Club and Upper concourse level. The current expansion joint does not have a block out or cover of any kind and is the width of the joint with a sealant infill. Please provide detail for sealing joint. (see pages 4, 5, and 6)
- The Inpro expansion joint cover depth is 1 ½", the current Expansion joint depth is 1". To get to the required depth, Contractor will be required to remove an additional 1/2" of concrete which will also damage the existing fire barrier. Subcontractor advises using an MM product that would not require any additional demo of the concrete. (see page 7 and 8)

Attachments

[RFI #023 - ASI #001 Clarifications - Question.pdf](#)

Official Response

Response from Glenn Johnson Marmon Mok on Tuesday, Feb 6, 2024 at 10:31 AM EST

Please see attached response to this RFI.

Attachments

[alamodome_final_four_renovations-rfi#23-asi_#001_clarifications-202401302342_Response 2-6-24.pdf](#)

All Replies

Response from Glenn Johnson Marmon Mok on Tuesday, Feb 6, 2024 at 10:31 AM EST

Please see attached response to this RFI.

Attachments

[alamodome_final_four_renovations-rfi#23-asi_#001_clarifications-202401302342_Response 2-6-24.pdf](#)



Skanska USA Building

711 Broadway
Suite 305
San Antonio, TX 78215
San Antonio, Texas 78258
P: (210) 301-7100
F: (210) 301-7101

Project: 3422517-000 Alamodome Final Four Renovations

100 Montana Street
San Antonio, Texas 78203

RFI #23: ASI #001 Clarifications

Status	Open		
To	Glenn Johnson (Marmon Mok) Bibi Nunez (Marmon Mok)	From	April Rogel (Skanska USA Building Inc. (TX-San Antonio))
Date Initiated	Jan 30, 2024	Due Date	Feb 6, 2024
Location		Project Stage	
Cost Impact	TBD	Schedule Impact	TBD
Spec Section		Cost Code	
Drawing Number		Reference	
Linked Drawings			
Received From			
Copies To	Natalie Carrasco (Skanska USA Building Inc. (TX-San Antonio)), Tom Hull (Skanska USA Building Inc. (TX-San Antonio)), Chelsea Moore (Skanska USA Building Inc. (TX-San Antonio)), April Rogel (Skanska USA Building Inc. (TX-San Antonio)), Victor Villeda (Skanska USA Building Inc. (TX-San Antonio)), ET Ware (Skanska USA Building Inc. (TX-San Antonio))		
Posted	No		

ADDITIONAL RFI DETAILS

RFI Category	Clarification	RFI Discipline	
Subcontractor RFI #		Urgency	High

Activity**Question**

Question from April Rogel Skanska USA Building Inc. (TX-San Antonio) on Tuesday, Jan 30, 2024 at 10:50 AM EST

During sites walks with involved trades for ASI #001 the following questions arose. Please advise on the following:

1. • Please confirm it is acceptable to infill the block outs at the new expansion joints with a non-shrink grout product.
2. • The AIA document provided in the ASI states "Contractor to provide credit back for 2 locations on club level C4/961". However, this detail is for the expansion joints in the new suites. The ASI only indicates the covers outside of the new suites. Please confirm the expansion joint covers in the new suites are not intended to be changed as a part of this ASI. (see page 1)
3. • Please confirm the construction joints called out on field level are no longer in scope of ASI #001. (see pages 2 & 3)
4. • The expansion joint product specified in the ASI does not meet the movement capabilities called out in specification 079500. Please advise if movements +/- 25% is acceptable. (see pages 4 & 5)
5. • There are smooth dowels in the slab with top of dowel at 1 1/2" BFF at the expansion joints. In areas where this condition applies, should the dowels be removed? (see page 6 & 7)
6. • ASI #001 calls out the joints returning to the wall along grid line E1 & E4 on Club and Upper concourse level. The current expansion joint does not have a block out or cover of any kind and is the width of the joint with a sealant infill. Please advise if these joints are to be demolished and the specified Inpro series system is to be installed or if they are to be left as is. (see pages 8, 9, and 10)
7. • The Inpro expansion joint cover depth is 1 1/2", the current Expansion joint depth is 1". To get to the required depth, Contractor will be required to remove an additional 1/2" of concrete which will also damage the existing fire barrier. Please advise if Contractor is to demo to required depth per the Inpro product data and replace existing fire barrier if damaged. (see page 11)

Attachments

[RFI #023 - ASI #001 Clarifications - Question.pdf](#)

Awaiting an Official Response

Responses:

1. based on new expansion jt. selection, do not infill block-out at exp. jt.
2. correction on credit back on Exp. Jts. on club level. existing exp.jt. covers in concourse were to remain.
3. No. field level exp. Jt. to be redone.
4. The expansion Jt. product submitted is a bases of design. The specification in the documents does not apply for this work.
5. The dowels being referred to are conduits in the slab and should remain.
6. for this area of the exp. jt. we are using a different type of joint product ,which would be a neoprene in fill and sealant.
7. There is other similar covers as submitted with the vertical dimension being less than 1-1/2"

note :At our walk on Friday 2-2-2024 with Skanska, Champion, Eric Duncun, Mark Rodriguez and Marmon Mok, we went over the different conditions that we will have on the project.

 **AIA** Document G710™ – 2017

Architect's Supplemental Instructions

PROJECT: *(name and address)*
Alamodome 2025 NCAA Final Four
Renov.

CONTRACT INFORMATION:
Contract For: General Construction

Date: August 19, 2023

ASI INFORMATION:
ASI Number: 001

Date: November 30, 2023

OWNER: *(name and address)*
CoSA

ARCHITECT: *(name and address)*
Marmon Mok

CONTRACTOR: *(name and address)*
Skanska USA Building Inc.

The Contractor shall carry out the Work in accordance with the following supplemental instructions without change in Contract Sum or Contract Time. Proceeding with the Work in accordance with these instructions indicates your acknowledgment that there will be no change in the Contract Sum or Contract Time.

(Insert a detailed description of the Architect's supplemental instructions and, if applicable, attach or reference specific exhibits.)

Contractor to provide New Expansion Joints cover at floor on all levels. There are eight (8) locations per floor. These expansion joint covers will be installed in concourse areas only as indicated on attached drawing.

- a. Contractor to provide credit back for 2 locations on club level, detail C4/A961
- b. Contractor to provide credit back for eight (8) locations on Level 5, detail A6/A964
- c. New Expansion Joint cover to be installed on Field Level, Plaza Level, Mezzanine Level, Club Level, Level 5 shall be "Inpro Series 733" Heavy Duty Slide Plate Systems - "J733-A01-075,3" expansion joint or approved equal.

ISSUED BY THE ARCHITECT:

Marmon Mok

ARCHITECT *(Firm name)*

SIGNATURE

Mary Bartlett, Partner

PRINTED NAME AND TITLE

Nov. 30, 2023

DATE



GENERAL NOTES
 1. THIS SHEET IS ISSUED FOR REFERENCE ONLY. NO ROOMS ON THIS LEVEL.



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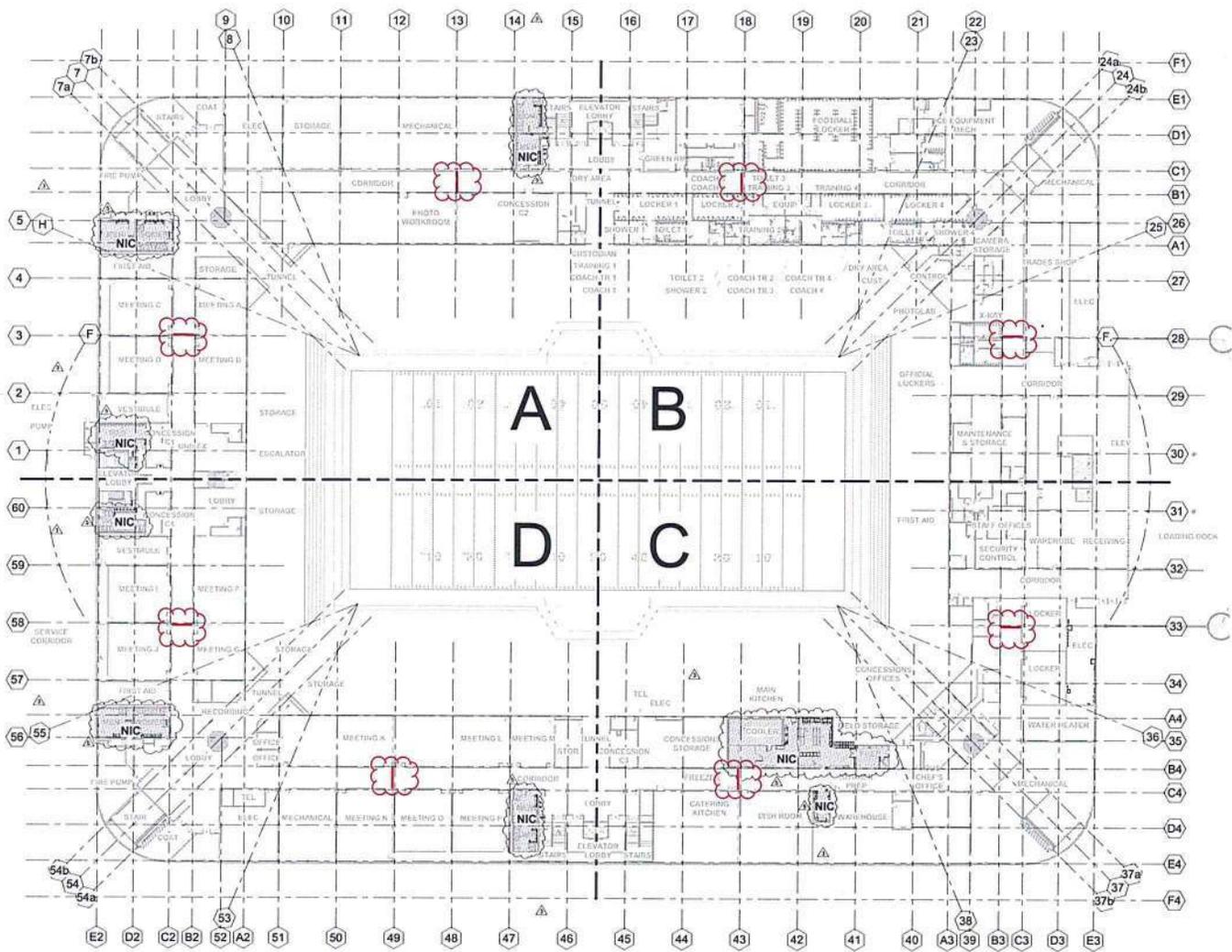
ALAMODOME FINAL FOUR
 RENOVATIONS
 100 MONTANA ST., SAN ANTONIO, TEXAS 78203



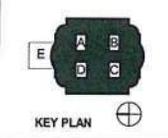
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 Drawn: JTW
 Checked: BJE
 Date: 10/24/11
 Project No: 110117
 Revision:
 1. 11/02/11 Addendum 1
 2. 11/17/11 Addendum 2

SHEET TITLE
 OVERALL FLOOR PLAN - FIELD LEVEL

SHEET NO
A101



E1 OVERALL FLOOR PLAN - FIELD LEVEL
 1/32" = 1'-0"
 0' 0" 10' 20' 30' 40'



11/17/2011 11:58 AM
 AlamoDomeFinalFour.dwg
 AutoCAD 2011
 11/17/2011 11:58 AM

Existing Construction Joints at Field Level



1. The term "withstand" means "the system will remain in place without separation of any parts when subjected to the seismic forces specified."
2. Component Importance Factor is 1.0.

2.3 INTERIOR EXPANSION CONTROL SYSTEMS

- A. Basis-of-Design Product: Subject to compliance with requirements, provide products indicated or comparable product by one of the following:
 1. Balco, Inc.
 2. EMSEAL Joint Systems, Ltd.
 3. InPro Corporation (IPC).
 4. Watson Bowman Acme Corp.
- B. Source Limitations: Obtain expansion control systems from single source from single manufacturer.
- C. Floor-to-Floor inside Suites (EJ1):
 1. Basis-of-Design Product: Watson Bowman Acme Corp; Wabo-Fast-Floor FJS cover with WaboThermoShield fire barrier system.
 2. Location: Tile floor expansion joints inside suites.
 3. Design Criteria:
 - a. Nominal Joint Width: 1-1/2".
 - b. Movement Capability: -25 percent/+75 percent.
 - c. Type of Movement: Thermal.
 - d. Load Capacity:
 - 1) Uniform Load: 150 lb/sq. ft..
 - 2) Concentrated Load: 2000 lb.
 - 3) Maximum Deflection: 0.5 inch.
 - e. Fire-Resistance Rating: Provide expansion control system and fire-barrier assembly with a rating not less than that of adjacent construction.
 4. Type: Cover plate.
 - a. Cover-Plate Design: Recessed to accept field-applied finish materials.
 - b. Metal: Aluminum.
 - 1) Finish: Clear anodic, Class I.
- D. Floor-to-Floor in suite seating bowl (EJ2):
 1. Basis-of-Design Product: Watson Bowman Acme Corp; Wabo-H-Seal EH Pre-compressed elastomeric coated expansion joint system.
 2. Location: Concrete expansion joints in suite seating bowl.
 3. Design Criteria:
 - a. Nominal Joint Width: 1-1/2".
 - b. Movement Capability: -25 percent/+75 percent.
 - c. Type of Movement: Thermal.
 - d. Load Capacity:
 - 1) Uniform Load: 150 lb/sq. ft..
 - 2) Concentrated Load: 2000 lb.
 - 3) Maximum Deflection: 0.5 inch.
 - e. Fire-Resistance Rating: Provide expansion control system and fire-barrier assembly with a rating not less than that of adjacent construction.
 4. Type: Precompressed, traffic grade, silicone coated.
 - a. Color: Gray.
- E. Wall-to-Wall and Ceiling-to-Ceiling (EJ3):

Inpro Data Sheet - Movement Capabilities

Movement: 25%

Product Guide



Thermal



Interior



Heavy Duty



ADA Compliant

- ▶ Ideal for high frequency pedestrian traffic and frequent heavy rolling loads commonly encountered in airports, convention centers, subways and hospitals projects.
- ▶ Applies to joints of 1" - 4" [25mm - 100mm]
- ▶ Narrow sightline minimizes impact to interior aesthetics of space.
- ▶ Recessed & Surface mount options allow for use in new and retrofit projects.
(Ref: 734 series for surface mount)
- ▶ Serrated surface provides excellent slip resistance.
- ▶ Integral microseal eliminates noise while blocks debris and liquids from entering mechanism.
- ▶ Exceptional $\pm 25\%$ thermal movement.

Application	System	W		H		H1		S		B		Movement +/-			
		Joint Width		Frame Height		Frame Height		Sightline		Blockout		Horizontal		Vertical	
		US	mm	US	mm	US	mm	US	mm	US	mm	US	mm	US	mm
Floor to Floor	733-A01-025	1"	25	1 1/2"	38	*	*	2"	50	3"	75	3/16"	5	3/16"	5
	733-A01-050	2"	50	1 1/2"	38	*	*	3"	75	3"	75	1/2"	12	1/2"	12
	733-A01-075	3"	75	1 1/2"	38	*	*	4"	102	3"	75	3/4"	20	3/4"	20
	733-A01-100	4"	102	1 1/2"	38	*	*	5"	126	3"	75	1"	25	1"	25
Floor to Wall	733-A02-025	1"	25	1 1/2"	38	1 1/2"	38	2"	51	3 1/2"	89	3/16"	5	3/16"	5
	733-A02-050	2"	50	1 1/2"	38	1 1/2"	38	3"	77	3 1/2"	89	1/2"	12	1/2"	12
	733-A02-075	3"	75	1 1/2"	38	1 1/2"	38	4"	102	3 1/2"	89	3/4"	20	3/4"	20
	733-A02-100	4"	102	1 1/2"	38	1 1/2"	38	5"	127	3 1/2"	89	1"	25	1"	25

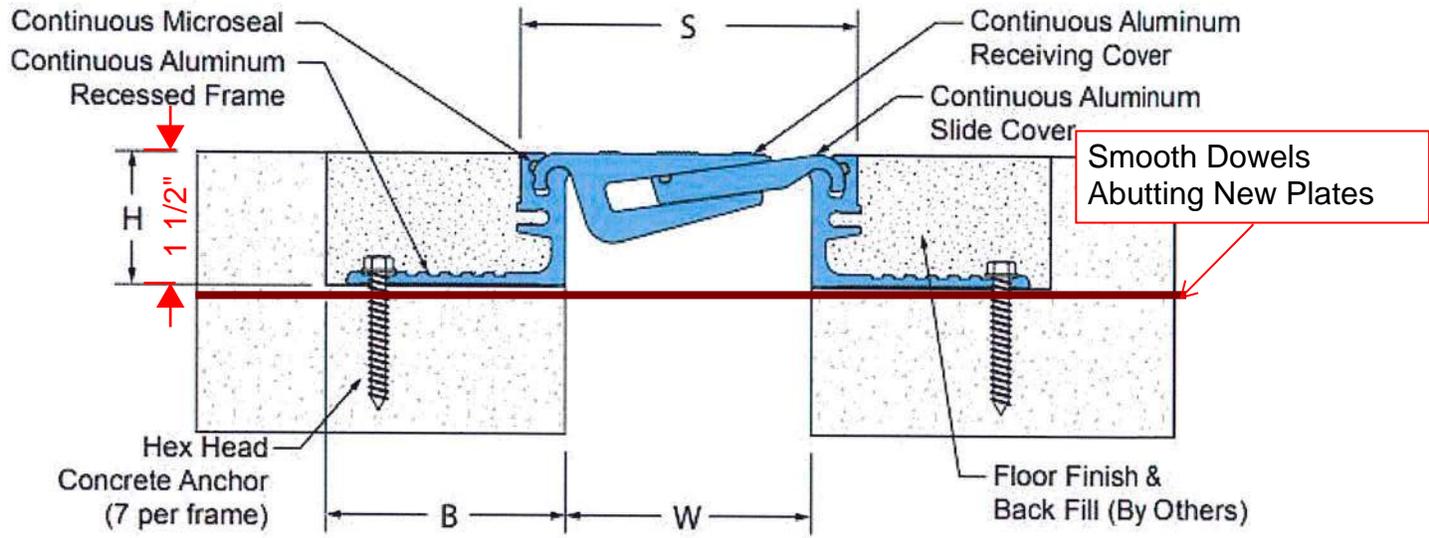
Smooth Dowels in Existing Joints

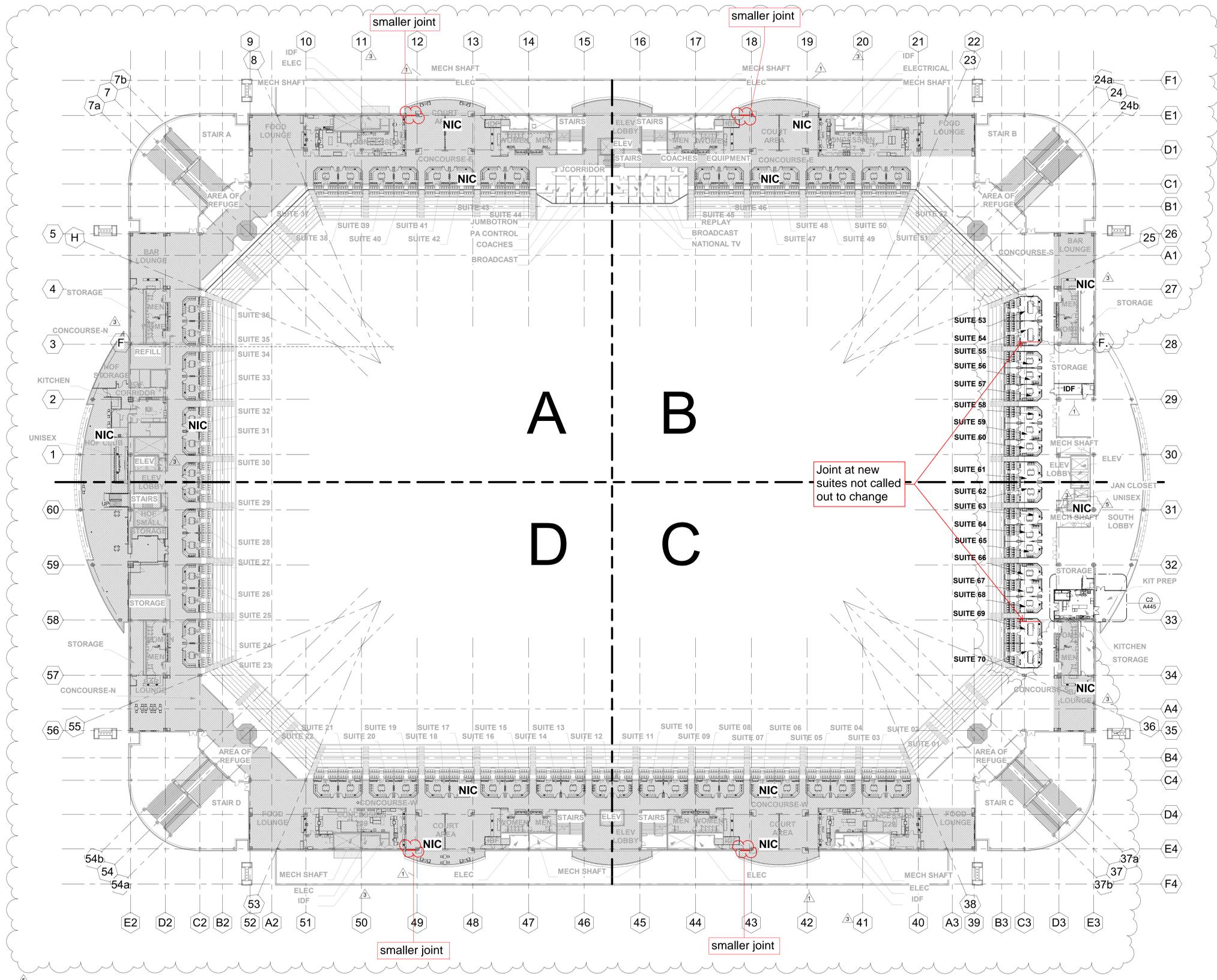


733 Series

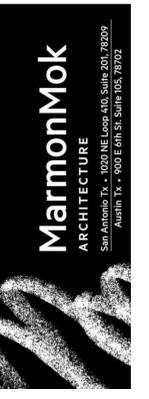
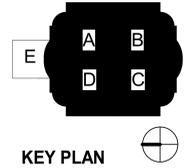
Heavy Duty Slide Plate Systems

J733-A01-075 Floor/Floor
(3" (75mm) system shown)





E1 OVERALL FLOOR PLAN - CLUB LEVEL
 1/32" = 1'-0"
 0 8' 16' 32' 64' 96'



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**ALAMODOME FINAL FOUR
 RENOVATIONS**
 100 MONTANA ST, SAN ANTONIO, TEXAS 78203



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 Revisions:
 1 12/01/22 Addendum 1
 3 01/19/23 Addendum 3
 5 05/17/23 Addendum 7

SHEET TITLE
**OVERALL FLOOR
 PLAN - CLUB
 LEVEL**

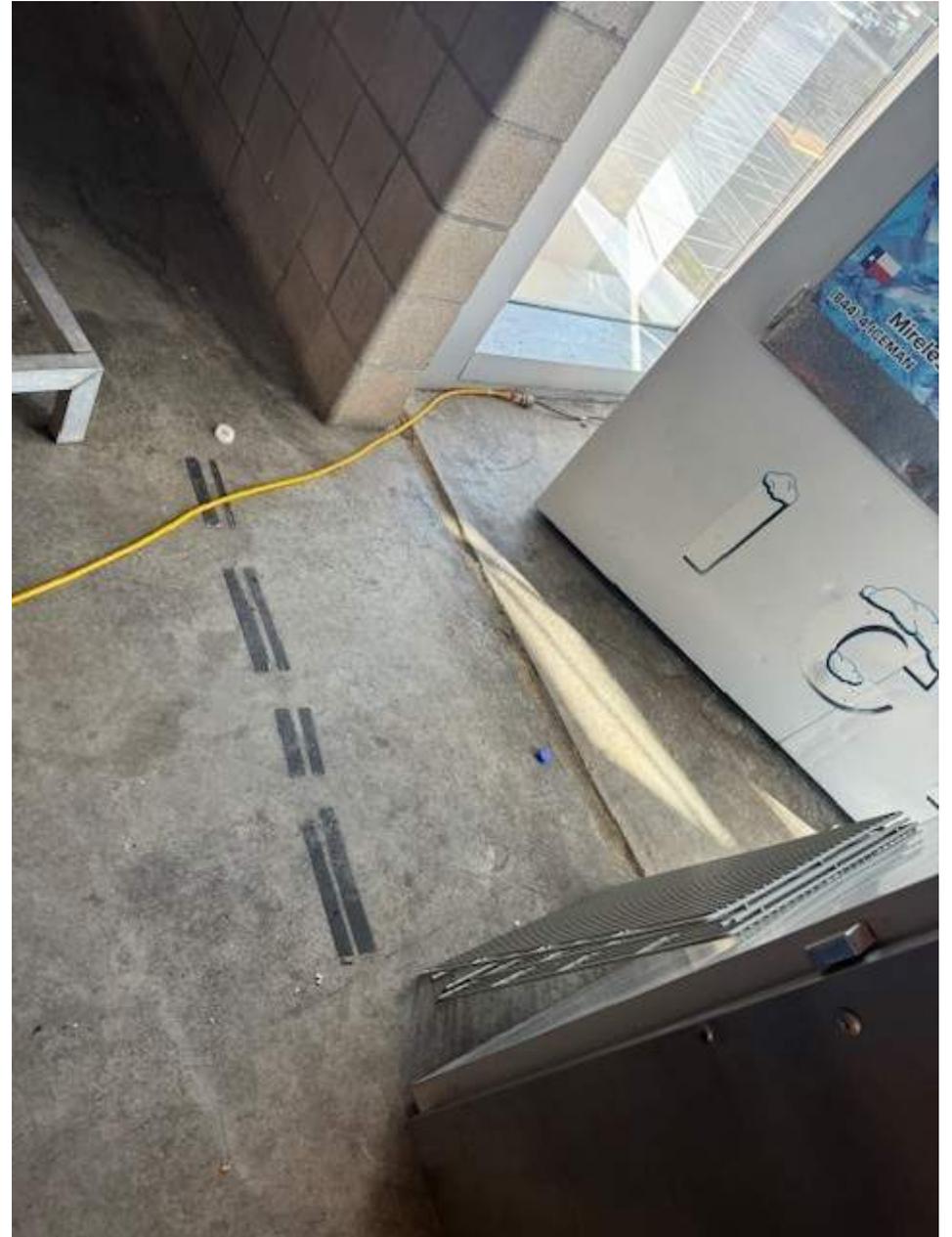
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A104

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 Plot: Renovations-ClubLevel.rvt

Typical Size of Exiting EJ's



Smaller Joint



Existing Wall-to-Wall Joints



AIA[®] Document G710[™] – 2017

Architect's Supplemental Instructions

PROJECT: *(name and address)*
Alamodome 2025 NCAA Final Four
Renov.

CONTRACT INFORMATION:
Contract For: General Construction

Date: August 19, 2023

ASI INFORMATION:
ASI Number: 001

Date: November 30, 2023

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CoSA

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Marmon Mok

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Skanska USA Building Inc.

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a. Contractor to provide credit back for 2 locations on club level, detail C4/A961

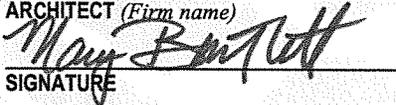
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ISSUED BY THE ARCHITECT:

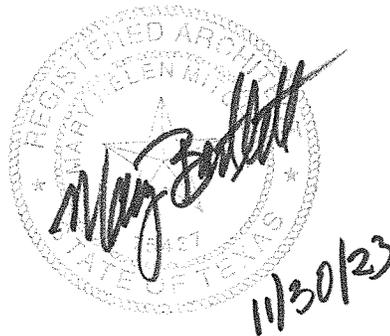
Marmon Mok

ARCHITECT *(Firm name)*


SIGNATURE

Mary Bartlett, Partner
PRINTED NAME AND TITLE

Nov. 30, 2023
DATE



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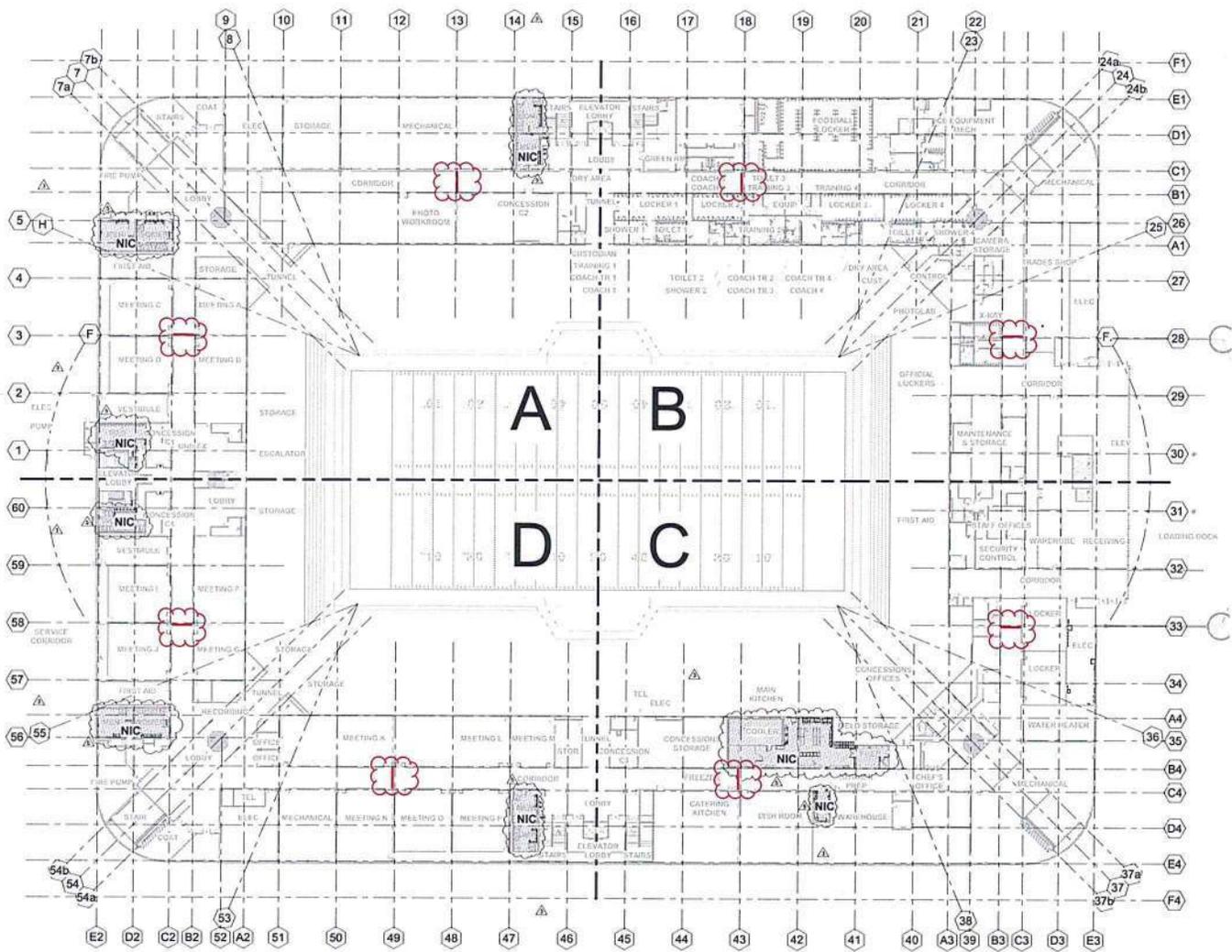
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 RENOVATIONS
 100 MONTANA ST., SAN ANTONIO, TEXAS 78203



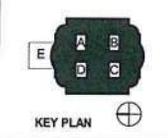
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 Revision:
 1. 11/16/11 Addendum 1
 2. 11/17/11 Addendum 2

SHEET TITLE
 OVERALL FLOOR PLAN - FIELD LEVEL

SHEET NO
A101



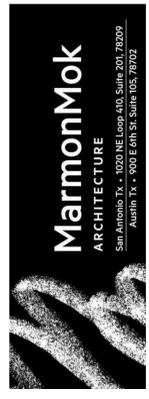
E1 OVERALL FLOOR PLAN - FIELD LEVEL
 1/32" = 1'-0"
 0' 0" 10' 20' 30' 40'



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 AlamoDome-Final Four-Renovations-Field Level-Overall Floor Plan
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Existing Construction Joints at Field Level





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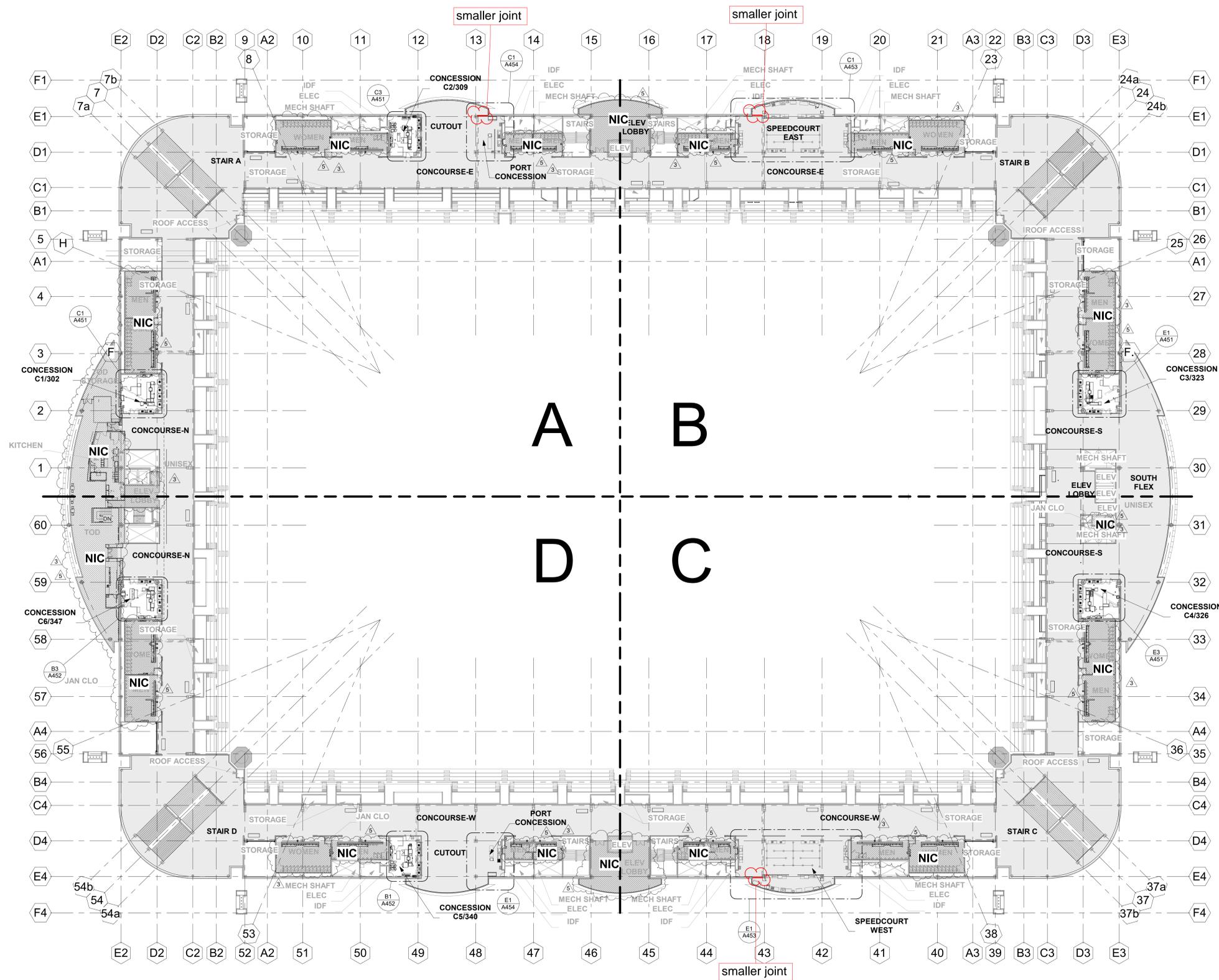
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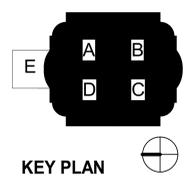
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Project No.: 21017
Revisions:
3 01/19/23 Addendum 5
5 05/17/23 Addendum 7

SHEET TITLE
OVERALL FLOOR PLAN - UPPER CONCOURSE LEVEL

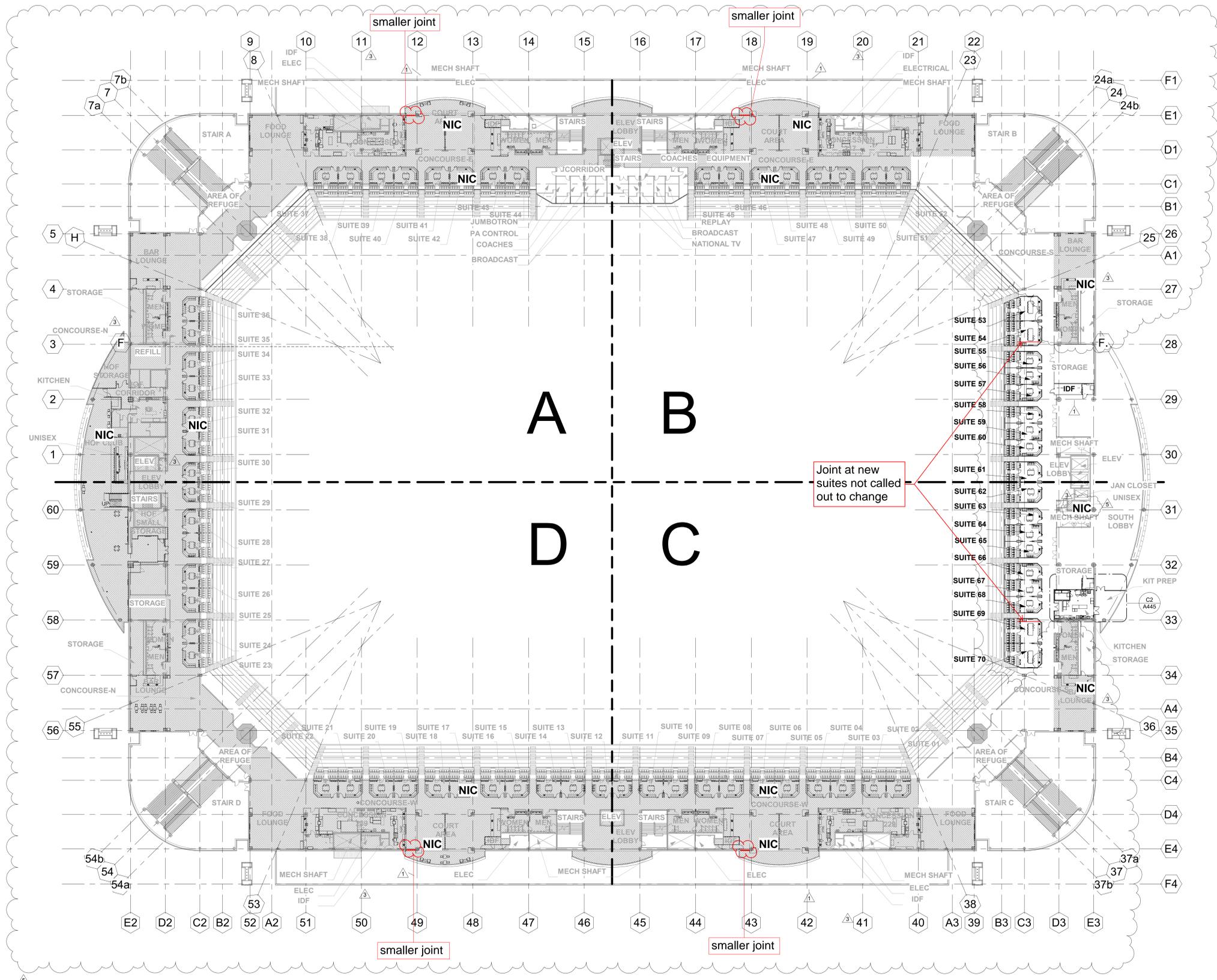
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A105



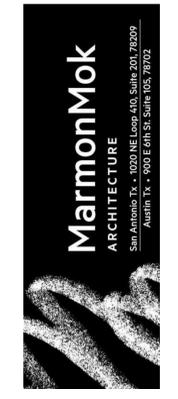
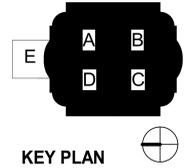
E1 OVERALL FLOOR PLAN - UPPER CONCOURSE LEVEL
1/32" = 1'-0"
0 8' 16' 32' 64' 96'



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Subfile: Docs\21017 AlamoDome\21017-Alamodome-Final
Plan-Renovations\Arch\A105.rvt



E1 OVERALL FLOOR PLAN - CLUB LEVEL
 1/32" = 1'-0"
 0 8' 16' 32' 64' 96'



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ALAMODOME FINAL FOUR RENOVATIONS
 100 MONTANA ST, SAN ANTONIO, TEXAS 78203



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SHEET TITLE
OVERALL FLOOR PLAN - CLUB LEVEL

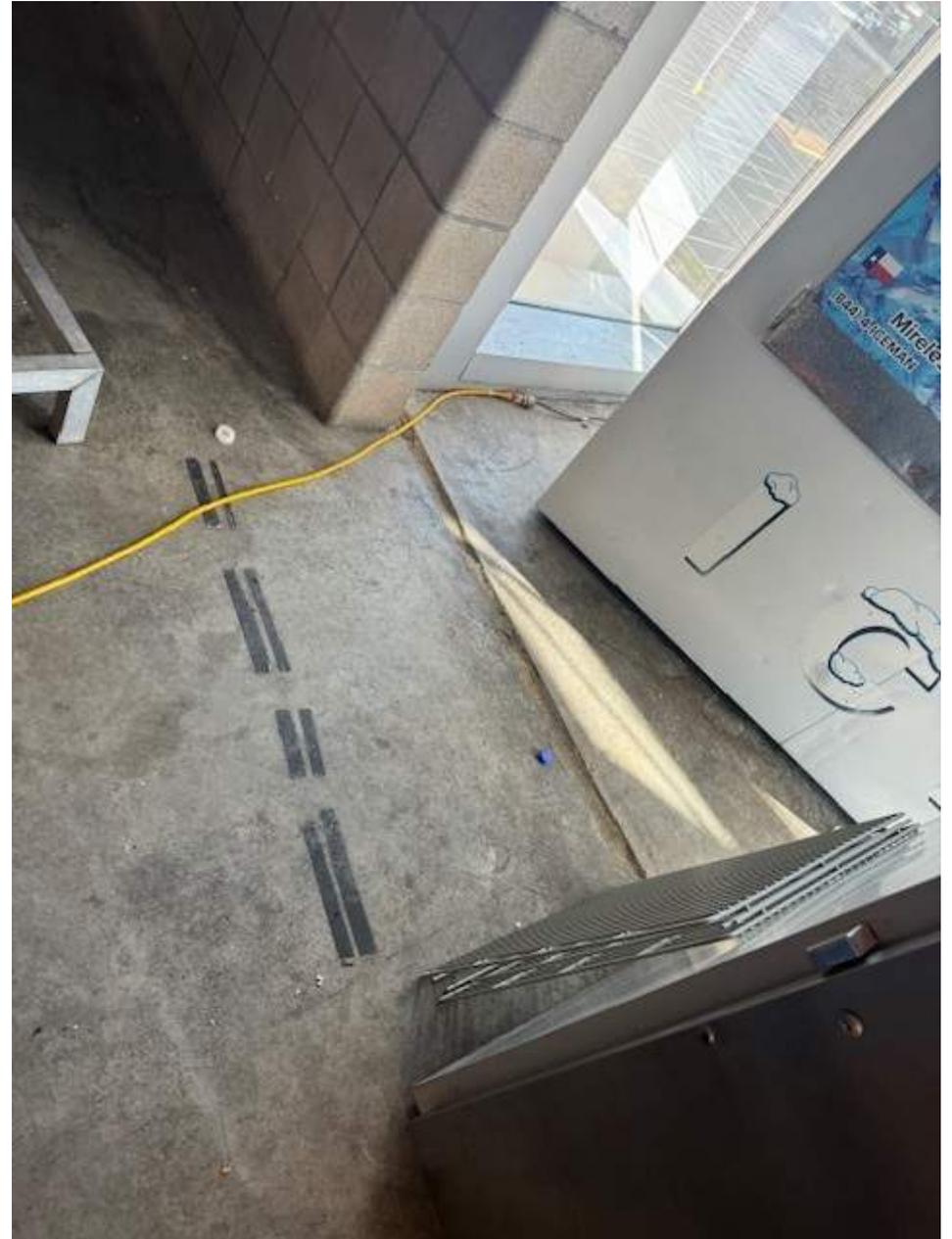
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5/12/2023 11:43:29 AM
 Subfile: Docs\21017 AlamoDome\21017-ClubLevel-Final
 Plot: Renovations-ClubLevel

Typical Size of Exiting EJ's



Smaller Joint





MM[®] DIH Series Expansion Joint

Dual Interlocking Hinge Seismic System

SPECO DATA
 MM Systems Corporation • 50 MM Way, Pendergrass, GA 30567 • 866.506.6929 • www.mm-usa.com

DESCRIPTION

The DIH Series is designed for expansion joint openings with the ability to provide a smooth and virtually impact-free transition between opposing floor surfaces in addition to accommodating heavy rolling loads and multi-directional seismic movement. The dual interlocking center slide plates are hinged to allow the system to remain flush with finished floor surface. The interlocking slide plate assembly utilizes three rubber anti-vibration dampers to eliminate any metal-to-metal noise and to resist the infiltration of liquids. The optional rubber gutter in conjunction with optional LokCrete[®] Elastomeric Concrete infill enhances the system's waterproofing capability.

BASIC USE

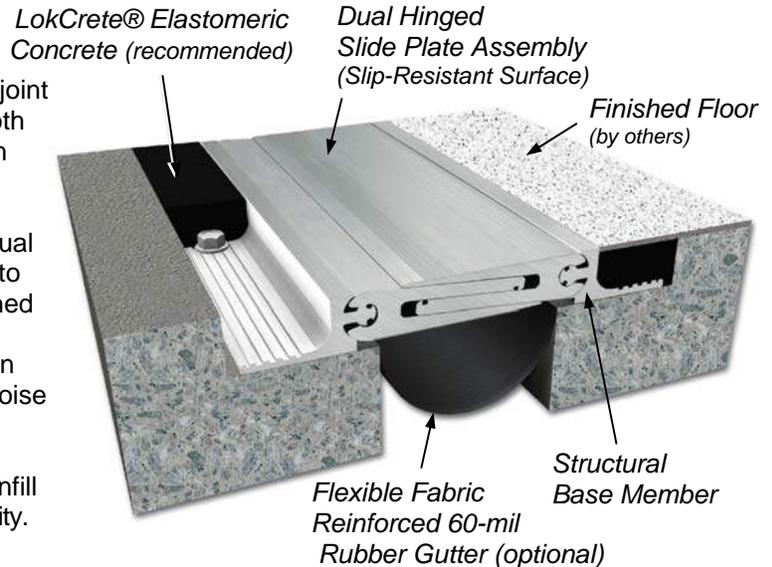
DIH is a traffic bearing expansion joint for high concentrated load service conditions exposed to fork trucks, money carts, luggage carts, pallet trucks, and gurneys in climate controlled environments such as airports, hospitals, casinos, convention centers, stadium luxury suites and other structures requiring seismic movement capability.

FEATURES

- Interlocking dual slide plate assembly provides flush floor-to-floor transition.
- Six-way multi-directional seismic movement capability.
- Pedestrian friendly and ADA compliant.
- Provides flush no-bump transition for sensitive equipment and hospital gurneys.
- Accommodates Forklifts and Fork Trucks with solid or pneumatic tires.
- Resistant to rolling loads and surface wear.
- Heavy-duty aluminum base frame with interlocking design insures proper alignment.
- Durable fabric reinforced rubber gutter provides added moisture protection (optional).

SPECIAL FEATURES

- Load Rating Analysis – contact MM Systems for licensed PE load capacity reports related to pneumatic, solid rubber and plastic tires.
- LokCrete[®] - hard, elastic, abrasion resistant embed material that flexes with deck loads.
- Fire Barriers - MM expansion joint systems available with 2 to 4 hour fire protection ratings.



STORAGE

LokCrete (recommended but optional) should be stored in a dry location 60-80°F (15-27°C).

Pyro-Flex Fire Barriers (when specified) materials should be stored in a completely dry location prior to use and must be kept dry before, during and after installation.

PACKAGING

Aluminum extrusion in 10-foot lengths shipped on wooden pallets. LokCrete is supplied in pre-measured Part A, B and C components. Fire barriers packaged on wooden pallets or in cardboard cartons. Hardware and other accessories packaged in cardboard cartons.

PRECAUTIONS

LokCrete[®] - Use splash goggles and chemical resistant gloves to avoid prolonged or repeated skin contact. Use with adequate ventilation. In case of eye contact, immediately flush (low pressure) with lukewarm water. In case of skin contact, immediately wash skin with soap and water. Read and follow labels and Material Safety Data Sheet before use.

LIMITATIONS

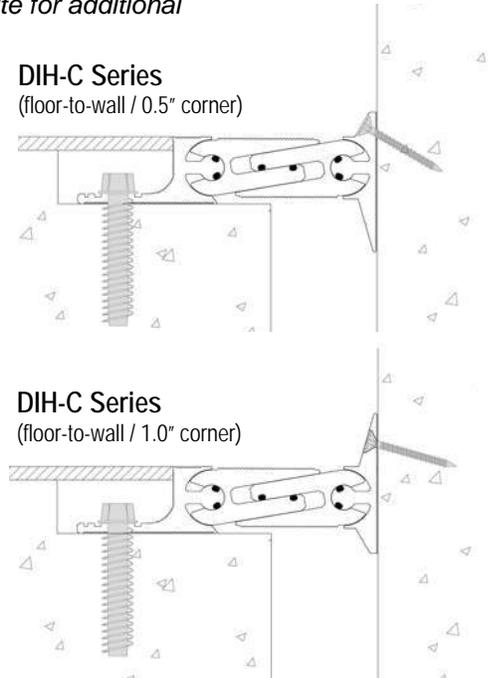
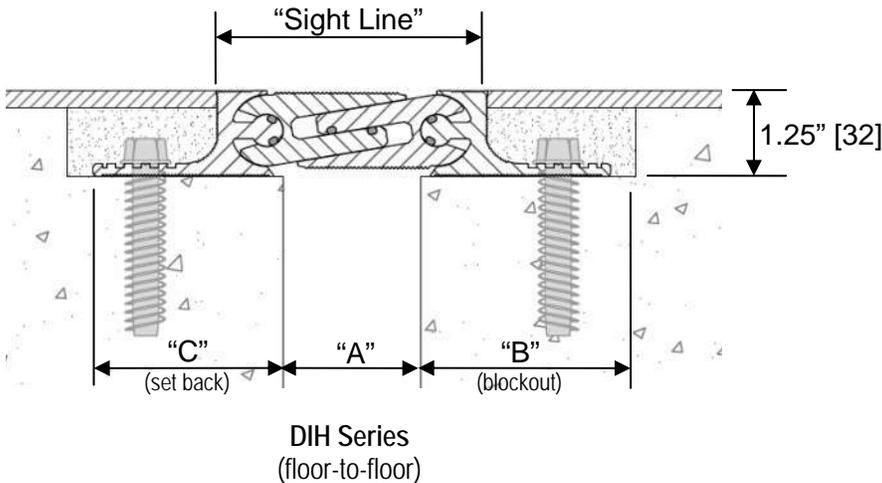
- Concrete blockouts must be properly formed and finished to exact elevations with sound substrate.
- Engineered for climate controlled interior building applications.
- Adjacent construction must have fire-resistive ratings equal to or greater than the rating of the fire barrier systems.

MM DIH Series Expansion Joint

MOVEMENT GUIDE

Model Number	Total Movement	Joint Opening "A"				Sight Line (Nominal)	Blockout Width "B"	Set Back "C"
		Minimum	Nominal	Maximum				
DIH-200	0.750 19	1.625 41	2.00 52	2.375 60	4.0000 102	3.125 76	2.750 70	
DIH-300	1.375 35	2.250 57	3.00 76	3.625 92	6.6875 170	4.000 102	3.625 92	
DIH-400	1.375 35	3.250 83	4.00 102	4.625 117	6.6875 170	3.500 89	3.125 79	
DIH-500	2.250 57	3.875 98	5.00 127	6.125 156	8.7500 222	4.000 102	3.625 92	
DIH-600	2.250 57	4.875 124	6.00 152	7.125 181	8.7500 222	3.500 89	3.125 79	

Dimensions are shown in **inches** (bold) and millimeters. Contact MM Systems for additional sizes. DIH-C Series floor-to-wall models not included in table above. See web site for additional



LIMITED WARRANTY

MM Systems warrants the MM Dual Interlocking Hinged Seismic Slide Plate System to be free of defects in material and conform to technical data listed. We make no warranty as to color or appearance. Since methods of application can affect performance and on site conditions are beyond our control, MM Systems makes no other warranty, expressed or implied, including warranties of MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE. MM Systems sole obligation shall be, at its option, to replace, or to refund the purchase price of the quantity of system proved to be defective. In no event shall MM Systems be liable for any special, incidental, consequential, loss of profits or punitive damages. Other warranties may be available when installed by a MM Certified Contractor.

INSTALLATION

- 1) Remove and repair all unsound concrete in and around the blockout. All spalls must be repaired with compatible patching material.
- 2) Prepare substrate by blasting. The blockout must be clean and dry prior to installation of optional LokCrete Elastomeric Concrete (optional blockout filler).
- 3) Use DIH assembly as template to mark and drill anchor holes.
- 4) Place DIH assembly into blockout cavity. Stagger components according to instructions. Level to match finished floor surface.
- 5) Secure base member with wedge bolts.
- 6) Mask-off top of floor parallel with edge of blockout and top of aluminum base member.
- 7) Backfill blockout with infill material (LokCrete recommended) up to the height of the base member or to accommodate finished flooring.
- 8) Refer to the DIH Installation Guideline for detailed step-by-step instructions.

MM Systems reserves the right to amend or withdraw information contained herein, without notice, and will not be liable for any inaccuracy or ambiguity of said information.

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Spec Data